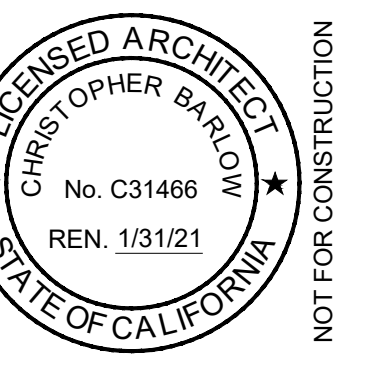






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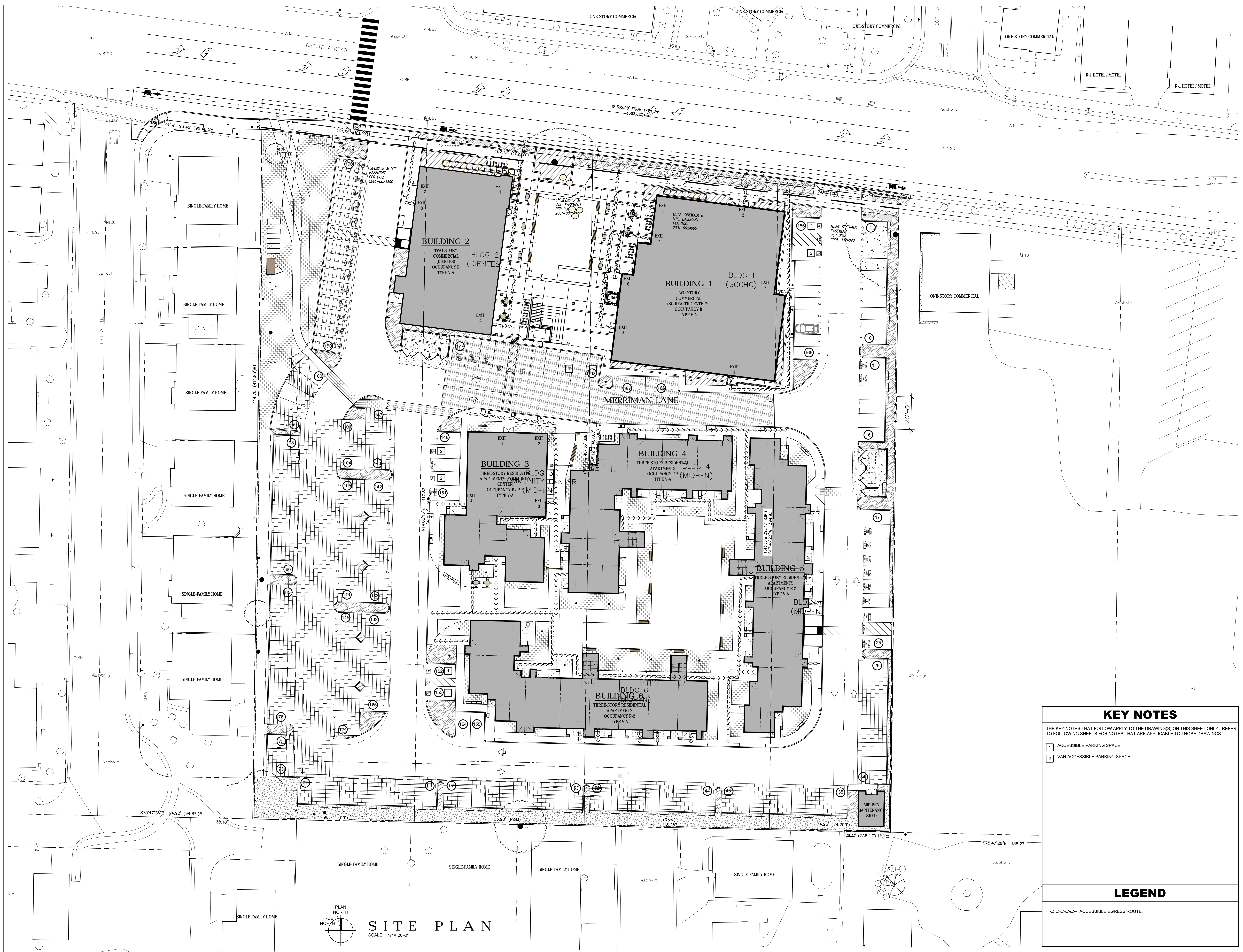


**MID-PEN HOUSING**  
**1500 CAPITOLA ROAD MIXED-USE**  
 MID-PEN HOUSING CORP.  
 WATSONVILLE DEVELOPMENT OFFICE  
 275 MAIN STREET, SUITE 204, WATSONVILLE, CA 95076  
 A.P.N.: 026-741-12, 026-741-13, 026-741-14, 026-741-15

JOB NO.  
**17088**  
 PRINT DATE:  
 PLOT DATE: 7.26.2019  
 DRAWN BY: VV  
 CHECKED BY: HR  
 SET ISSUED:  
 11/06/2018 COUNTY APPLICATION PACKAGE  
 02/15/2019 COUNTY RESUBMITTAL APPLICATION PACKAGE  
 05/13/2019 COUNTY RESUBMITTAL APPLICATION PACKAGE

SHEET NAME:  
**SITE ACCESSIBILITY PLAN**  
 SHEET NO.:

**A011**  
 FILE NAME: 17088-A011



**SITE PLAN**  
 SCALE: 1" = 20'-0"

**KEY NOTES**

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1 ACCESSIBLE PARKING SPACE.
- 2 VAN ACCESSIBLE PARKING SPACE.

**LEGEND**

◊◊◊◊◊◊ ACCESSIBLE EGRESS ROUTE.





- LEGEND**
- (E) LOT LINE
  - (E) PROPERTY LINE
  - ADJACENT LOT LINE
  - (E) EASEMENT LINE
  - (E) CONTOUR LINE
  - E
  - OH
  - GAS
  - SS
  - SD
  - W
  - X
  - O
- (E) ELECTRIC LINE  
(E) OVERHEAD LINE  
(E) GAS LINE  
(E) SANITARY SEWER LINE  
(E) STORM DRAIN LINE  
(E) WATER LINE  
(E) FENCE  
TREES TO BE REMOVED (SEE LANDSCAPE PLANS)  
TREES TO BE PROTECTED IN PLACE (SEE LANDSCAPE PLANS)

- ABBREVIATIONS**
- AC ACRES
  - APN ASSESSORS PARCEL NUMBER
  - BLDG BUILDING
  - Δ DELTA
  - (E) EXISTING
  - O.R. OFFICIAL RECORD
  - PL PROPERTY LINE
  - PM PARCEL MAP
  - P.T.R. PRELIMINARY TITLE REPORT
  - R/W RIGHT OF WAY
  - SC SANTA CRUZ
  - SD STORM DRAIN
  - SOFT SQUARE FEET

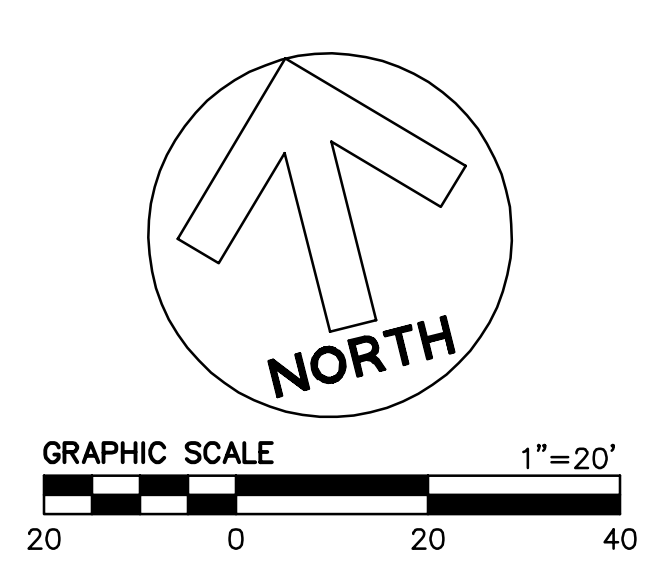
**SUMMARY TABLE**

TOTAL LOT AREA	159,110 SQFT
TOTAL AREA OF EXISTING BUILDINGS	3,000 SQFT
TOTAL EXISTING IMPERVIOUS AREA	18,670 SQFT
EXISTING UTILITY NAMES	SANTA CRUZ COUNTY SANITATION DISTRICT CITY OF SANTA CRUZ WATER DEPARTMENT PACIFIC GAS AND ELECTRIC COMPANY

- NOTES**
- SEE PRELIMINARY UTILITY PLAN FOR ALL (E) UTILITIES TO BE REMOVED/ABANDONED.
  - SEE PRELIMINARY SITE PLAN AND STORMWATER MANAGEMENT PLAN FOR PROPOSED BUILDING AND IMPERVIOUS AREAS.

**TOTAL AREA**  
159,110 SQ. FT.  
3.6527 AC.

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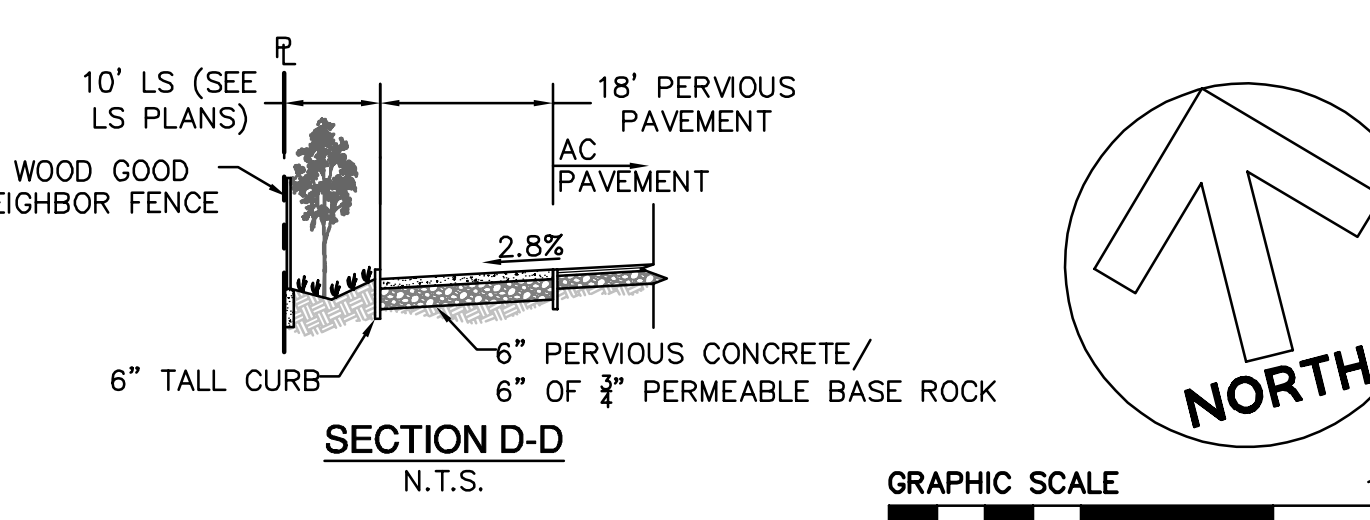
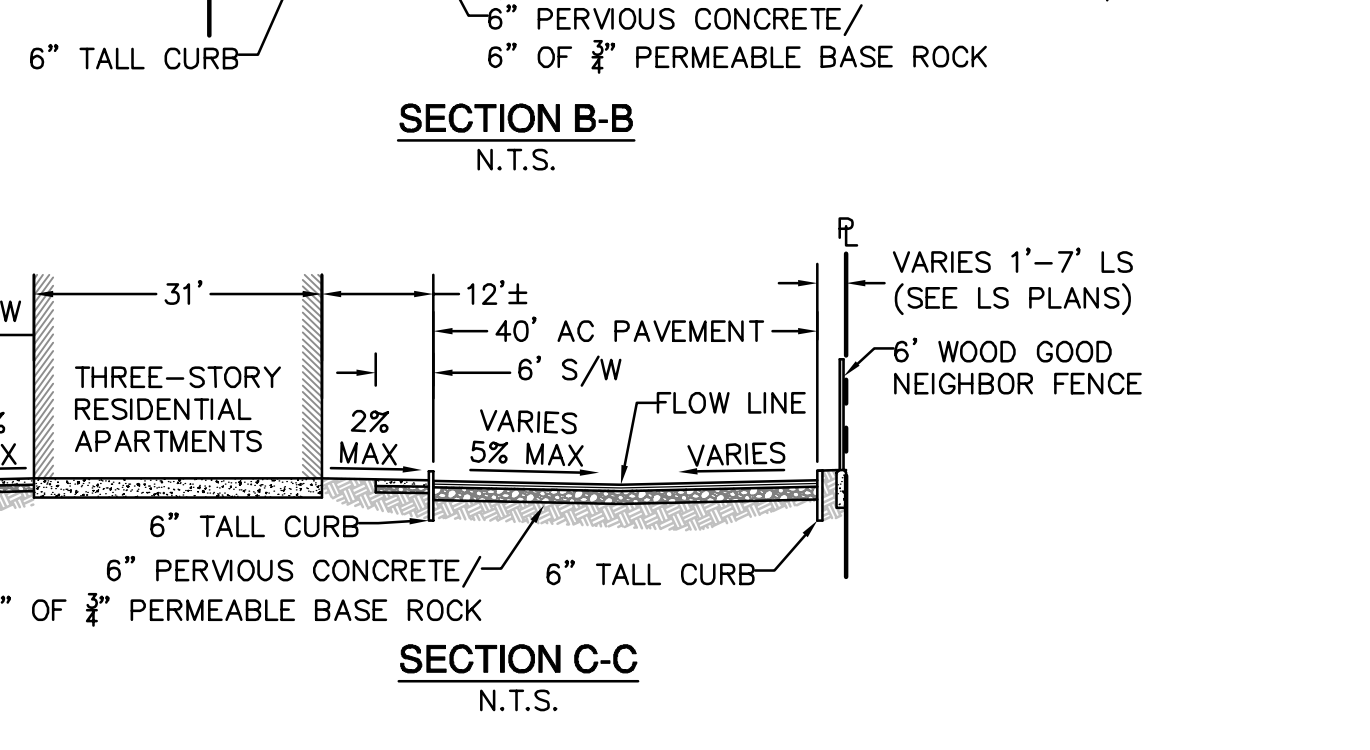
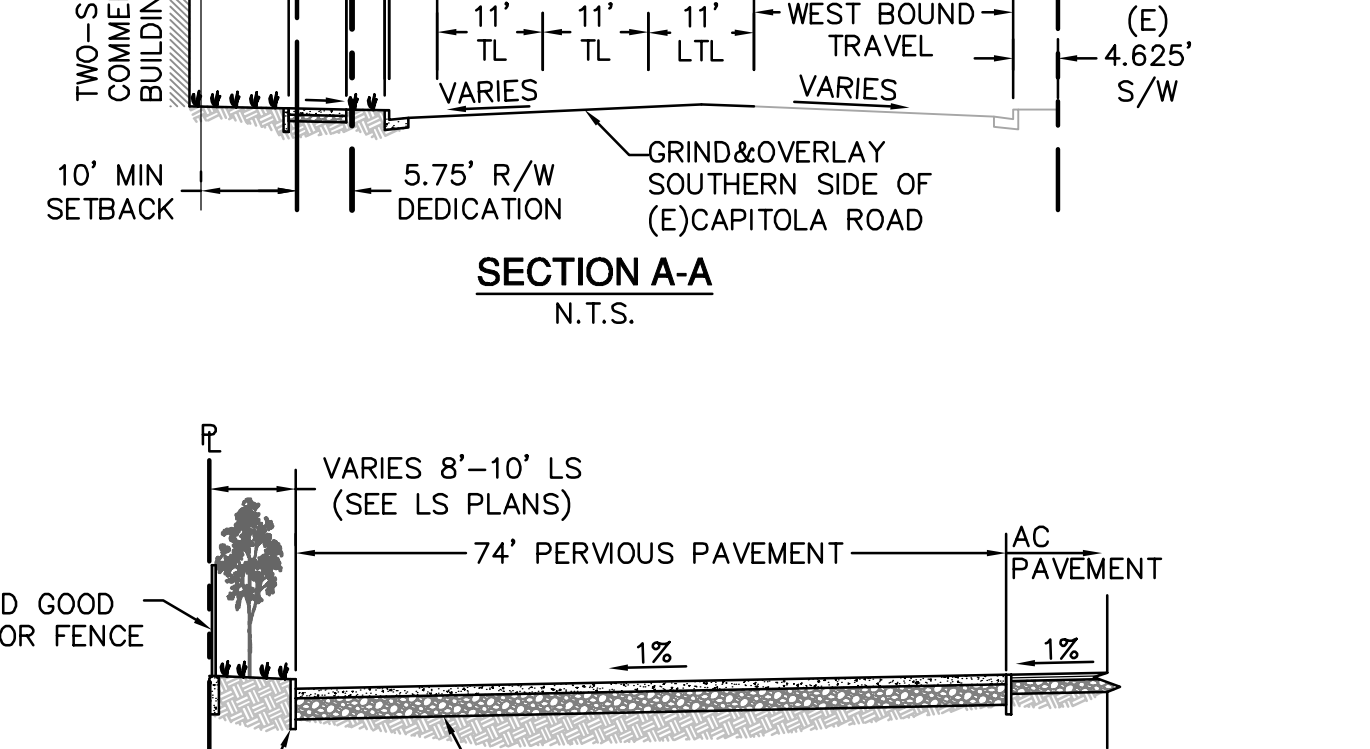
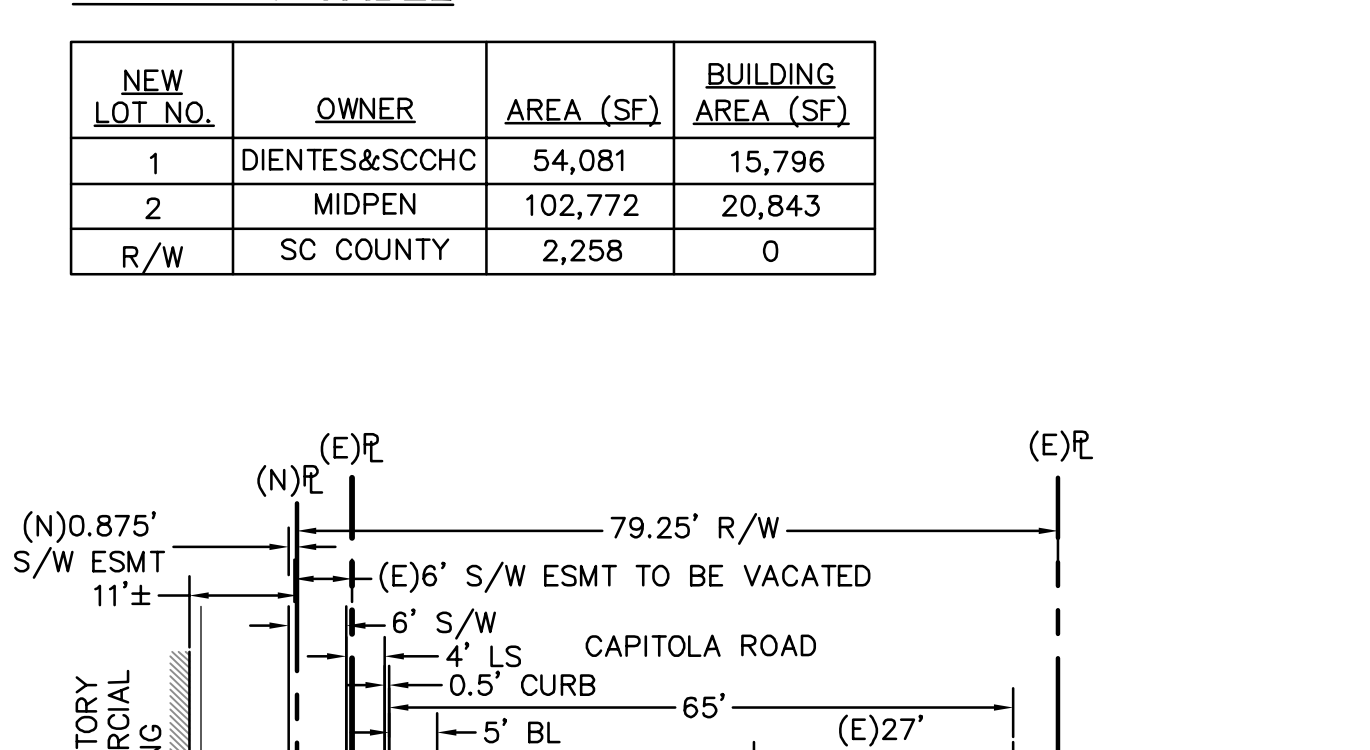


- LEGEND**
- PROPERTY LINE
  - - - (N)PROPERTY LINE
  - - - ADJACENT LOT LINE
  - - - (N)EASEMENT LINE
  - - - SAWCUT LINE
  - ⊗ RAPID FLASHING BEACONS
  - ⊕ CROSS SECTION
  - ▨ DECORATIVE PAVING (SEE LANDSCAPE PLANS)
  - ▩ TURFBLOCK FOR EMERGENCY VEHICLE ACCESS (SEE LANDSCAPE PLANS)
  - ▭ CONCRETE PAVEMENT
  - ▨ 3"(AC)TYPE B WITH 9" CLASS 2 AGGREGATE PAVEMENT
  - ▨ REINFORCED CONCRETE SLAB FOR MINIMAL BASE EXCAVATION NEAR TREE ROOTS
  - ▨ PERVIOUS PAVEMENT
  - ▨ 2" MIN AC GRIND AND OVERLAY
  - Ⓟ PARKING SPACE COUNT
  - ▨ 4" (AC) TYPE B WITH 12" CLASS 2 AGGREGATE PAVEMENT
- ABBREVIATIONS**
- |                     |   |
|---------------------|---|
| AC ASPHALT CONCRETE | OC ON CENTER                              |
| BLD BIKE LANE       | PL PROPERTY LINE                          |
| BLDG BUILDING       | R/W RIGHT OF WAY                          |
| (E) EXISTING        | SC SANTA CRUZ                             |
| ESMT EASEMENT       | SCCHC SANTA CRUZ COMMUNITY HEALTH CENTERS |
| LF LINEAL FEET      | SD STORM DRAIN                            |
| LS LANDSCAPE        | SLP SEE LANDSCAPE PLAN                    |
| LTL LEFT TURN LANE  | S/W SIDEWALK                              |
| (N) NEW             | TL THRU LANE                              |
| NTS NOT TO SCALE    | (TYP) TYPICAL                             |

- NOTES**
- OVERLAND RELEASE, SANITARY SEWER, AND RECIPROCAL ACCESS/PARKING EASEMENTS WILL BE UNDER SEPARATE INSTRUMENT AND WILL BE SHOWN ON LOT LINE ADJUSTMENT.
  - ALL SIGNING AND STRIPING IN PUBLIC RIGHT-OF-WAY MUST CONFORM TO THE LATEST PROVISIONS OF THE CALIFORNIA MUTCD, CALTRANS STANDARD PLANS AND SPECIFICATIONS, AND SANTA CRUZ COUNTY STANDARD DETAILS AND REQUIREMENTS.
  - ALL MARKINGS SHOWN ARE BASED ON THE 2014 CALIFORNIA MUTCD.
  - ALL INTERIOR ROADS SHALL BE FIRE LANES WITH CURBS PAINTED RED.
- SIGNING AND STRIPING KEY NOTES**
- 130± LF OF 4" SOLID & DASHED YELLOW LINES, DETAIL 31
  - 130± LF OF 4" DASHED WHITE LINE WITH MARKERS, DETAIL 9
  - 130± LF OF 6" SOLID WHITE LINE, DETAIL 39
  - 290± LF OF 4" SOLID & DASHED YELLOW LINES, DETAIL 31
  - 290± LF OF 4" DASHED WHITE LINE WITH MARKERS, DETAIL 9
  - 290± LF OF 6" SOLID WHITE LINE, DETAIL 39
  - 16 SOLID YELLOW CROSSWALK STRIPES (10' LONG, 2' WIDE, SPACED 4' OC)
  - TYPE IV(L) ARROW
  - BICYCLE LANE PAVEMENT MARKINGS, FIGURE 9C-3
  - 115± LF OF 4" SOLID WHITE LINE, DETAIL 27B
  - FIRE LANE SIGN, SHEET A110 DETAIL 9

**SUMMARY TABLE**

NEW LOT NO.	OWNER	AREA (SF)	BUILDING AREA (SF)
1	DIENTES&SCCHC	54,081	15,796
2	MIDPEN	102,772	20,843
R/W	SC COUNTY	2,258	0



**WR&D**  
WALD RUPPKE & DOST ARCHITECTS LLP

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**BKF100+**  
YEARS  
ENGINEERS SURVEYORS PLANNERS

307 MAIN STREET, SUITE 120  
SALINAS, CALIFORNIA 93901  
PHONE: 831.205.5880  
WWW.BKF.COM

**MID-PEN HOUSING  
1500 CAPITOLA ROAD MIXED-USE**

MID-PEN HOUSING CORP  
WATSONVILLE DEVELOPMENT OFFICE  
275 MAIN STREET, SUITE 204, WATSONVILLE, CA 95076  
A.P.N.: 026-741-12, 026-741-13, 026-741-14, 026-741-15

JOB NO:  
**176343**

PRINT DATE:  
PLOT DATE: 5.10.2019

DRAWN BY:  
CHECKED BY:  
SET ISSUED:

SHEET NAME:  
**PRELIMINARY SITE PLAN**

SHEET NO.:  
**C1.0**

FILE NAME:



**LEGEND**

- (78.5±) EXISTING SPOT ELEVATION
- TC78.0  
FG77.5 PROPOSED SPOT ELEVATION
- 2%  
MAX PROPOSED SLOPE
- CONCRETE PAVEMENT
- PERVIOUS CONCRETE
- OVERLAND RELEASE PATH (OLR)
- GRADE BREAK / RIDGE LINE
- CONFORM TO EXISTING
- FLOW LINE
- 77 (E) CONTOUR LINE
- 80 PROPOSED CONTOUR LINE

**ABBREVIATIONS**

- AC, (AC) ASPHALT CONCRETE
- BLDG BUILDING
- BW FINISHED GRADE AT BOTTOM OF WALL
- CMU CONCRETE MASONRY UNIT
- CY CUBIC YARD
- (E) EXISTING
- ESMT EASEMENT
- FF FINISHED FLOOR
- FL FLOW LINE
- LS LANDSCAPE
- MAX MAXIMUM
- N.T.S. NOT TO SCALE
- OLR OVERLAND RELEASE
- PL PROPERTY LINE
- PV PAVEMENT
- SHLDR SHOULDER
- S/W SIDEWALK
- TC TOP OF CURB
- TW TOP OF WALL
- (TYP) TYPICAL

**PRELIMINARY EARTHWORK NUMBERS**

CUT = 4,325± CY, MAX CUT HEIGHT = 2.5'  
 FILL = 775± CY, MAX FILL HEIGHT = 3.4'  
 TOTAL CUT = 3550± CY

**NOTES**

EARTHWORK IS PROHIBITED DURING THE RAINY SEASON (OCTOBER 15-APRIL 15) UNLESS A WINTER GRADING PERMIT IS APPROVED BY THE PLANNING DIRECTOR.

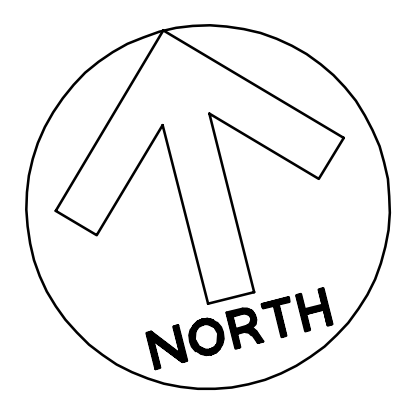


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**1500 CAPITOLA ROAD MIXED-USE**

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 275 MAIN STREET, SUITE 204, WATSONVILLE, CA 95076  
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 PRINT DATE:  
 PLOT DATE: 5.10.2019  
 DRAWN BY:  
 CHECKED BY:  
 SET ISSUED:

SHEET NAME:  
**PRELIMINARY GRADING PLAN**  
 SHEET NO.:



GRAPHIC SCALE 1"=20'  
 20 0 20 40

**C2.0**  
 FILE NAME:





**LEGEND**

PROPOSED	EXISTING	PROPERTY LINE
---	---	ADJACENT LOT LINE
---	---	EASEMENT LINE
---	---	ELECTRICAL LINE
---	---	GAS LINE
---	---	SANITARY SEWER
---	---	STORM DRAIN LINE
---	---	DOMESTIC WATER LINE
---	---	FIRE WATER LINE
---	---	(E)UTILITY TO BE REMOVED
---	---	(E)UTILITY TO BE CAPPED
---	---	FIRE BACK FLOW PREVENTER
---	---	FIRE DEPARTMENT CONNECTION
---	---	FIRE HYDRANT
---	---	POST INDICATOR VALVE
---	---	BELOW GRADE SINGLE CHECK VALVE
---	---	SANITARY SEWER CLEANOUT
---	---	SANITARY SEWER MANHOLE
---	---	SANITARY SEWER AREA DRAIN
---	---	STORM DRAIN CATCH BASIN/DRAIN INLET
---	---	STORM DRAIN AREA DRAIN
---	---	STORM DRAIN JUNCTION BOX
---	---	WATER METER
---	---	WATER VALVE
---	---	RACK FI DW PRFVNTFR

**ABBREVIATIONS**

BFP	BACK FLOW PREVENTER
DW	DOMESTIC WATER
(E)	EXISTING
ESMT	EASEMENT
FDC	FIRE DEPARTMENT CONNECTION
FW	FIRE WATER
INV	INVERT
LF	LINEAR FEET
OH	OVERHEAD
PIV	POST INDICATOR VALVE
S	SLOPE
SD	STORM DRAIN
SDAD	STORM DRAIN AREA DRAIN
SDCB	STORM DRAIN CATCH BASIN
SDDI	STORM DRAIN DRAIN INLET
SDJB	STORM DRAIN JUNCTION BOX
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSAD	SANITARY SEWER AREA DRAIN
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
(TYP)	TYPICAL
WM	WATER METER
WV	WATER VALVE

- NOTES**
- EXISTING UTILITY LOCATIONS ARE SHOWN PER AS-BUILTS AND UTILITY DISTRICT MAPS AND ARE APPROXIMATE. EXACT LOCATIONS AND INVERTS TO BE FIELD VERIFIED.
  - INFILTRATION RATES ARE  $> 1-2$  INCHES PER HOUR. NO SUBDRAINS HAVE BEEN PROPOSED AT THE PVIOUS CONCRETE AREAS.

- KEY LEGEND**
- (E)SANITARY SEWER LINE TO BE ABANDONED
  - (E)GAS LINE TO BE CAPPED AT MAIN. SERVICE TO BE ABANDONED IN STREET AND REMOVED PAST PROPERTY LINE.
  - (E)WATER LINE TO BE ABANDONED
  - (E)WATER LINE TO BE REMOVED
  - (E)WATER METER TO BE REMOVED
  - (E)STORM DRAIN LINE TO BE REMOVED
  - (E)STORM DRAIN INLET TO BE REMOVED
  - CONNECT TO (E)WATER
  - FIRE LINE TO AUTOMATIC SPRINKLER SYSTEM
  - REUSE (E)SS LATERAL IF DETERMINED TO BE IN AN ACCEPTABLE CONDITION AND INVERT ELEVATION IS SUITABLE. IF NOT, INSTALL NEW SS LATERAL.
  - (E)SDCB TO BE RELOCATED TO NEW CURB&GUTTER LOCATION
  - (E)UTILITY BOX TO BE PROTECTED IN PLACE
  - (E)LIGHT POST TO BE RELOCATED WEST OF 15TH AVENUE CROSSWALK
  - (E)JOINT POLE TO BE PROTECTED IN PLACE
  - RECTANGULAR RAPID FLASHING BEACON TO BE MOUNTED TO LIGHT POST OR NEW STAND ALONE POST

- ESTIMATED WATER CONSUMPTION**
- SCCHC BUILDING: 2,275± GPD  
 ASSUMPTIONS/CALCULATIONS  
 • ENTIRE SQUARE FOOTAGE WILL BE MEDICAL OFFICE/CLINIC SPACE— TYPICALLY WOULD USE 0.18 GPD/SF TO ESTIMATE BUT BECAUSE AN EXISTING SCCHC BUILDING WITH SIMILAR USE CONSUMES ON AVERAGE 0.06 GPD/SF, WE ASSUMED 0.12 GPD/SF.
  - DIENES BUILDING: 1,715± GPD  
 ASSUMPTIONS/CALCULATIONS  
 • 5,557 SF WILL BE MEDICAL OFFICE/CLINIC SPACE— USED 0.18 GPD/SF TO ESTIMATE CONSUMPTION.  
 • 5,491 SF WILL BE OFFICE SPACE— USED 0.13 GPD/SF TO ESTIMATE CONSUMPTION  
 • THESE ESTIMATES ARE IN LINE WITH EXISTING DIENES BUILDINGS WITH SIMILAR USES.
  - MIDPEN BUILDINGS: 10,600± GPD  
 ASSUMPTIONS/CALCULATIONS  
 • LAUNDRY WASHING MACHINES ARE ASSUMED TO USE 400 GPD/MACHINE.  
 • ASSUMED AN AVERAGE OF 2.2 PERSONS/UNIT WITH EACH CONSUMING 60 GPD.

**WR&D**  
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 ARCHITECTS LLP  
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 WWW.WRDARCH.COM

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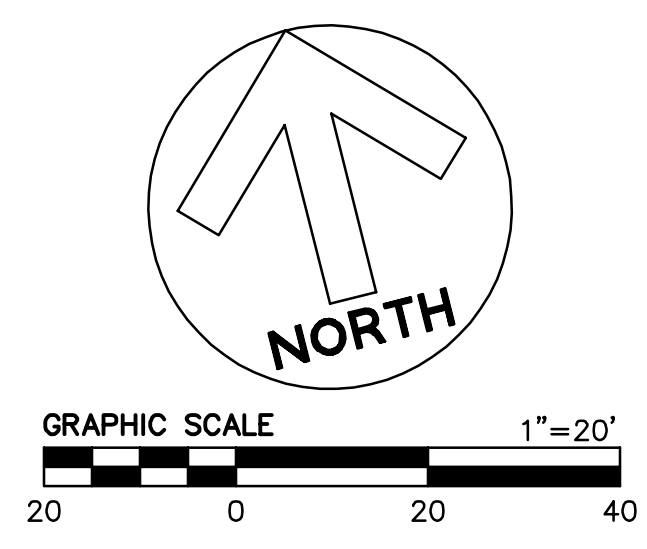
**BKF100+**  
 YEARS  
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 307 MAIN STREET, SUITE 120  
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**MID-PEN HOUSING  
 1500 CAPITOLA ROAD MIXED-USE**  
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 DRAWN BY:  
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SHEET NAME:  
**PRELIMINARY  
 UTILITY PLAN**

SHEET NO.:  
**C3.0**  
 FILE NAME:







**LEGEND**

- RETENTION AREA BOUNDARY
- SILT FENCE AND FIBER ROLL PER DETAIL 1, SHEET C4.1
- 6' CONSTRUCTION FENCE WITH GREEN SCREENING
- STORM DRAIN CATCH BASIN PER DETAIL 2, SHEET C4.1
- STABILIZED CONSTRUCTION ENTRANCE/EXIT PER DETAIL 3, SHEET C4.1
- ENTRANCE/EXIT TIRE WASH PER DETAIL 4, SHEET C4.1
- PERVIOUS CONCRETE PER STANDARD PLAN SW-25, THIS SHEET

**ABBREVIATIONS**

- A AREA
- CF CUBIC FEET
- (E) EXISTING
- IN INCH
- MIN MINIMUM
- NTS NOT TO SCALE
- S SLOPE
- SDJB STORM DRAIN JUNCTION BOX
- SF SQUARE FEET
- (TYP) TYPICAL

	RESIDENTIAL DRIVEWAY OR PEDESTRIAN ONLY	PRIVATE STREET PARKING LOT	PUBLIC STREET OR FIRE LANE
PERVIOUS CONCRETE	4"	6"	6"
POROUS ASPHALT	3"	4"	6"
PERMEABLE INTERLOCKING PAVERS	2 3/4"	3 3/4"	3 3/4"
ENGINEERING REQ'D	NO	YES	YES
COMPACTION REQ'D	NO	YES	95%

**NOTES:**

- UNDERDRAIN TO REMOVE WATER THAT CANNOT BE INFILTRATED WITHIN 72 HOURS.
- DESIGNS PROVIDED SHALL BE SIGNED & STAMPED BY A GEOTECHNICAL &/OR CIVIL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA.
- GEOTEXTILE USE AND SELECTION MAY BE DETERMINED BY A GEOTECHNICAL ENGINEER PER AASHTO M-288.
- UNDERDRAIN AND ORIFICE CONFIGURATION SHALL BE BASED ON ENGINEERED DESIGN.

**LOW IMPACT DEVELOPMENT STORMWATER MANAGEMENT STANDARD DETAILS**

PERVIOUS PAVEMENT STANDARD PLAN NO. **SW-25**

DEVELOPED UNDER PROP. 84 GRANT

APPROVED BY: [Signature]

VERSION: 08/31/2017

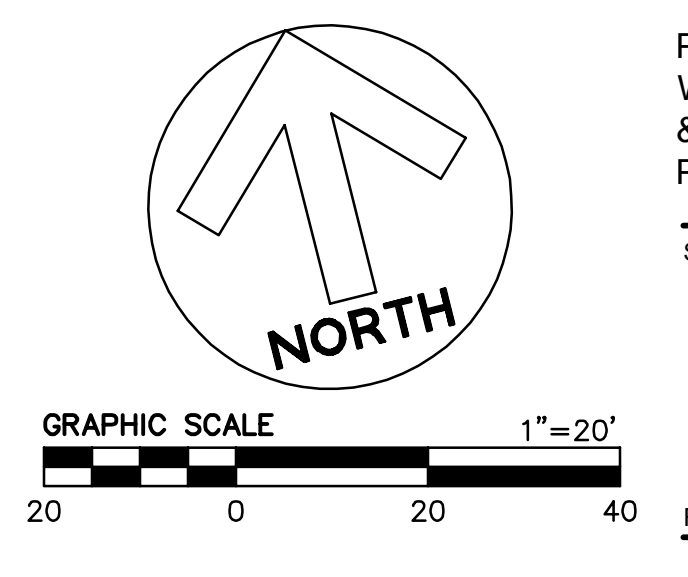
USE WITH STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTION SHEET 1 OF 1

**STORMWATER CONTROL MEASURE SIZING SUMMARY**

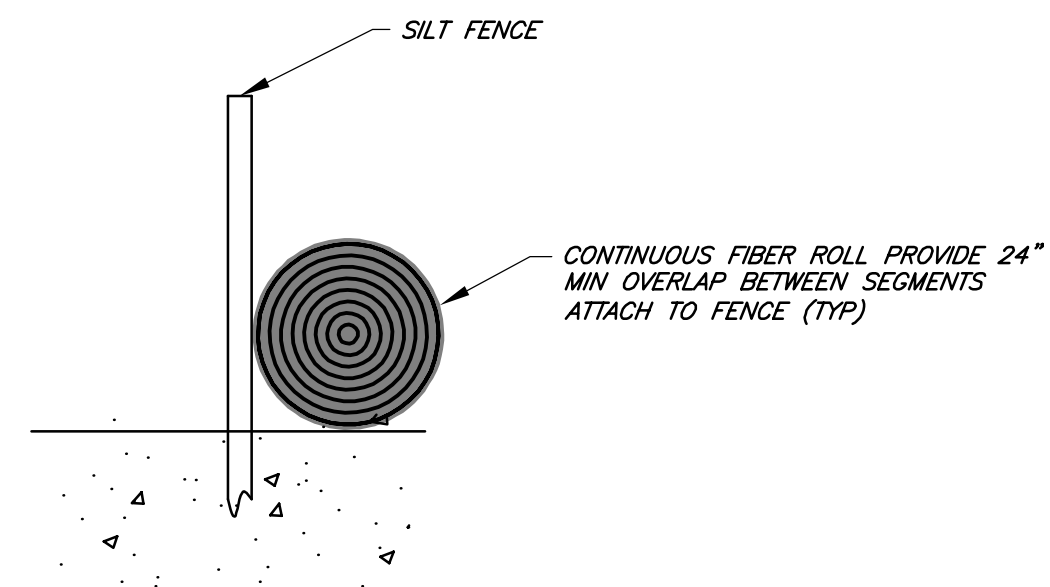
DRAINAGE AREA	DRAINAGE TRIBUTARY AREA (SF)	PERVIOUS SURFACE (SF)	TYPE OF PERVIOUS SURFACE	IMPERVIOUS SURFACE (SF)	TYPE OF IMPERVIOUS SURFACE	TREATMENT MEASURE	SPECIFIED STORAGE VOLUME (CF)	REQUIRED GRAVEL DEPTH (IN)	PROVIDED GRAVEL DEPTH (IN)
A-1*	4,055	1,050	LANDSCAPE	3,005	CONCRETE, WALKWAYS	-	-	-	-
A-2	12,085	3,035	LANDSCAPE, PERVIOUS PAVING	9,050	PAVEMENT, CONCRETE, WALKWAYS, ROOF	PERVIOUS PAVEMENT SELF-RETAINING AREA	559	8.1	8.5
A-3	127,920	40,250	LANDSCAPE, PERVIOUS PAVING	87,670	PAVEMENT, CONCRETE, WALKWAYS, ROOF	PERVIOUS PAVEMENT SELF-RETAINING AREA	4,520	6.9	7.0
A-4	9,500	9,500	LANDSCAPE	0	N/A	SELF-TREATING	-	-	-
A-5	5,625	4,865	LANDSCAPE	760	WALKWAY, ROOF	SELF-RETAINING (MIN 380SF OF LANDSCAPING DEPRESSED 3")**	-	-	-

NOTE: STORAGE CAPACITY IN THE PERVIOUS PAVEMENT GRAVEL SECTION CALCULATED PER THE REQUIREMENTS OF SANTA CRUZ'S COUNTY DESIGN CRITERIA. GRAVEL DEPTH IS SIZED TO RETAIN AND INFILTRATE THE 2-YEAR 2-HOUR STORM. THE PREDEVELOPMENT DISCHARGE RATE DURING BOTH THE 10-YEAR 15-MINUTE AND THE 25-YEAR 15-MINUTE IS ALSO BEING MAINTAINED AND WILL NOT INCREASE THE FLOWS TRAVELING TO THE DOWNSTREAM SYSTEM. REFER TO THE HYDROLOGY AND STORM WATER MANAGEMENT REPORT FOR ADDITIONAL INFORMATION AND SIZING CALCULATIONS.

\*DRAINAGE AREA IS LOCATED WITHIN RIGHT-OF-WAY DEDICATION TO SANTA CRUZ COUNTY.  
\*\*SELF-RETAINING LANDSCAPING SIZED USING 1/4 OF IMPERVIOUS AREA. AREA DRAIN RIM SET 3" HIGHER THAN SURROUNDING AREA. SEE GRADING AND UTILITY PLAN FOR ADDITIONAL INFORMATION.

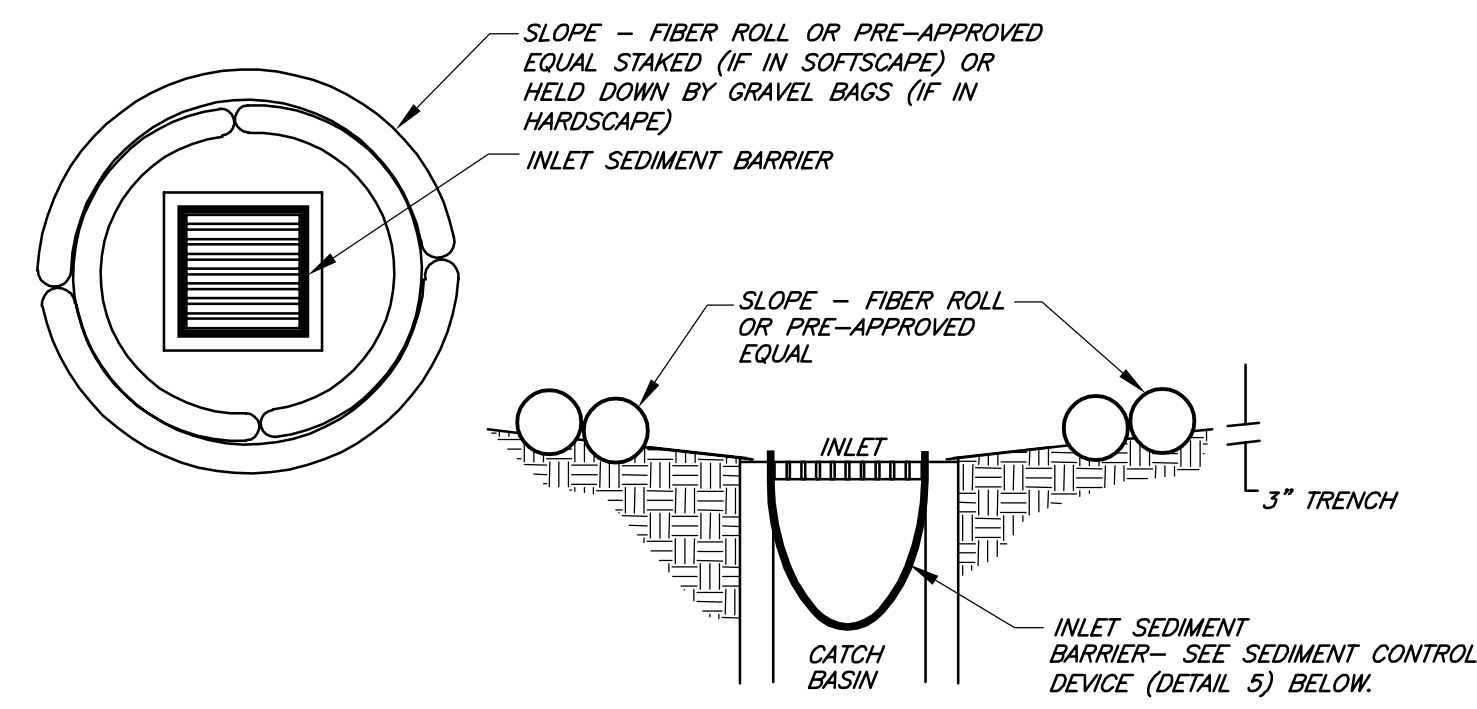




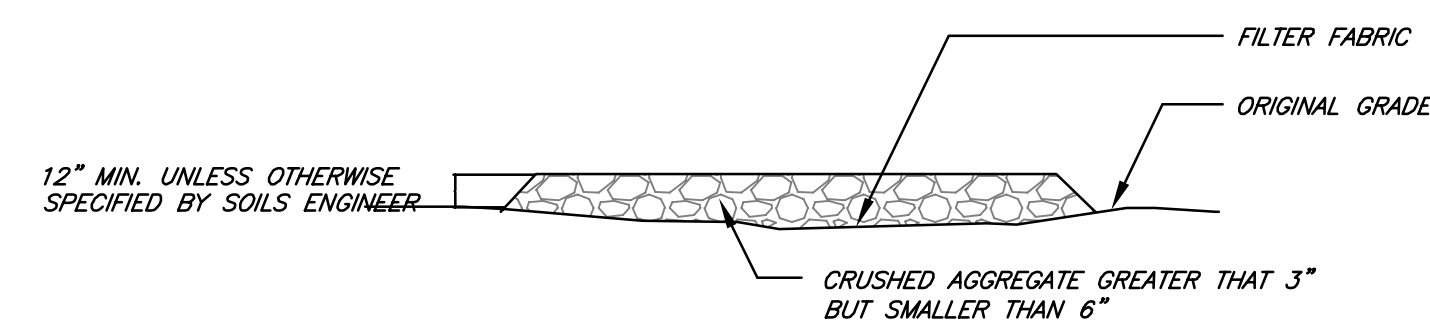


- NOTES:
1. SILT FENCE SHALL BE STAKED.
  2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 8" MAXIMUM RECOMMENDED STORAGE HEIGHT.
  3. REMOVED SEDIMENT SHALL BE DEPOSITED IN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
  4. USE REED & GRAHAM, INC. GEOSYNTHETICS STRAW WATTLE FIBER ROLL (COMES IN 9" X 25' ROLLS) OR EQUIVALENT.

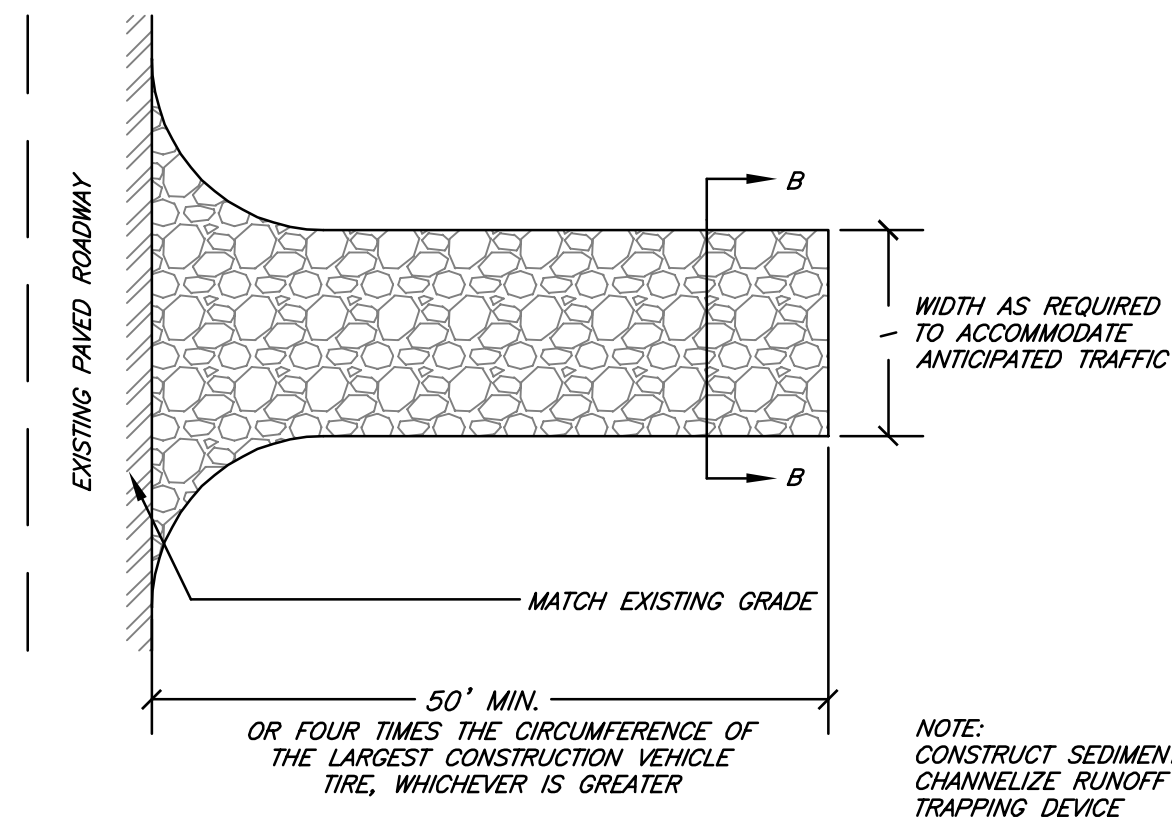
① SILT FENCE AND FIBER ROLL  
N.T.S.



② TYPICAL INLET PROTECTION  
N.T.S.

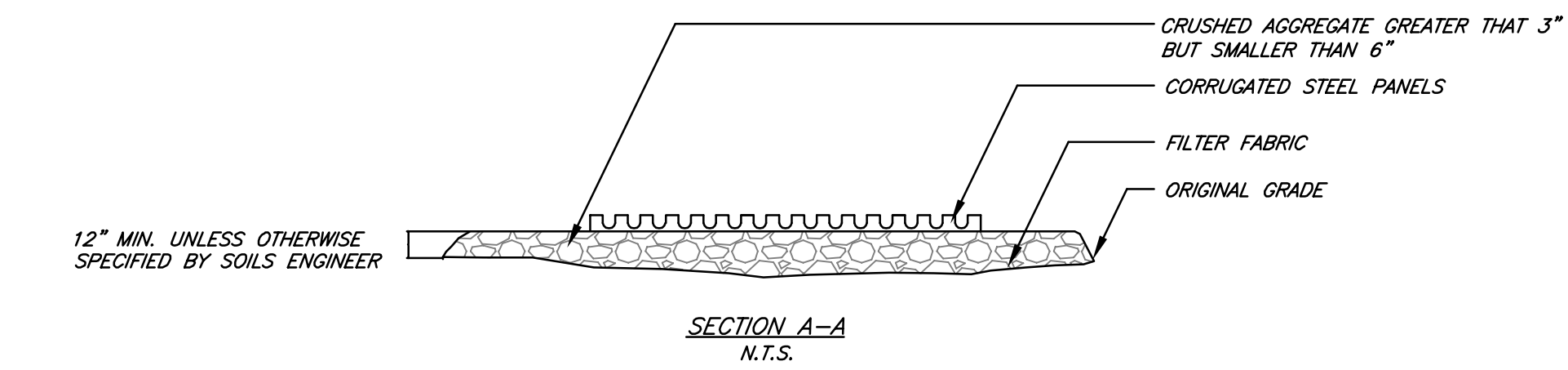


SECTION B-B  
N.T.S.

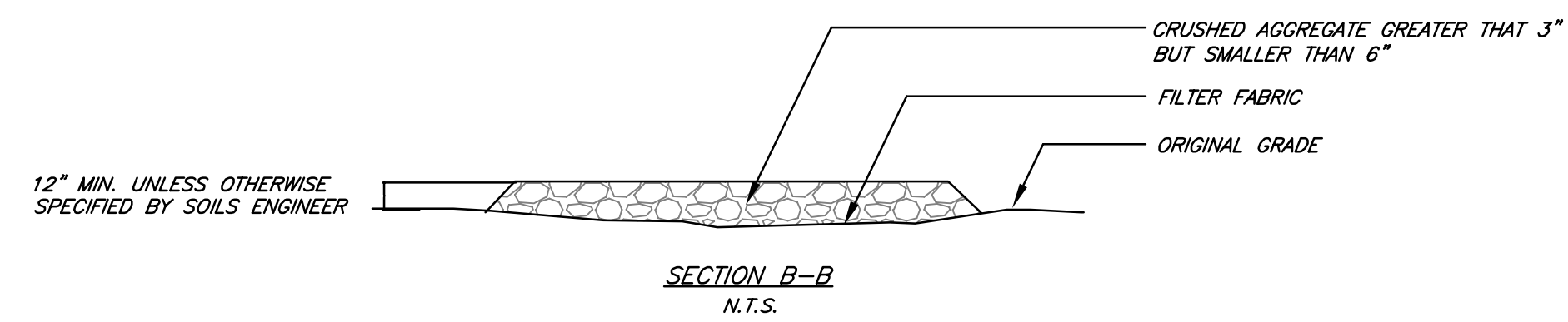


NOTE:  
CONSTRUCT SEDIMENT BARRIER AND CHANNELIZE RUNOFF TO SEDIMENT TRAPPING DEVICE

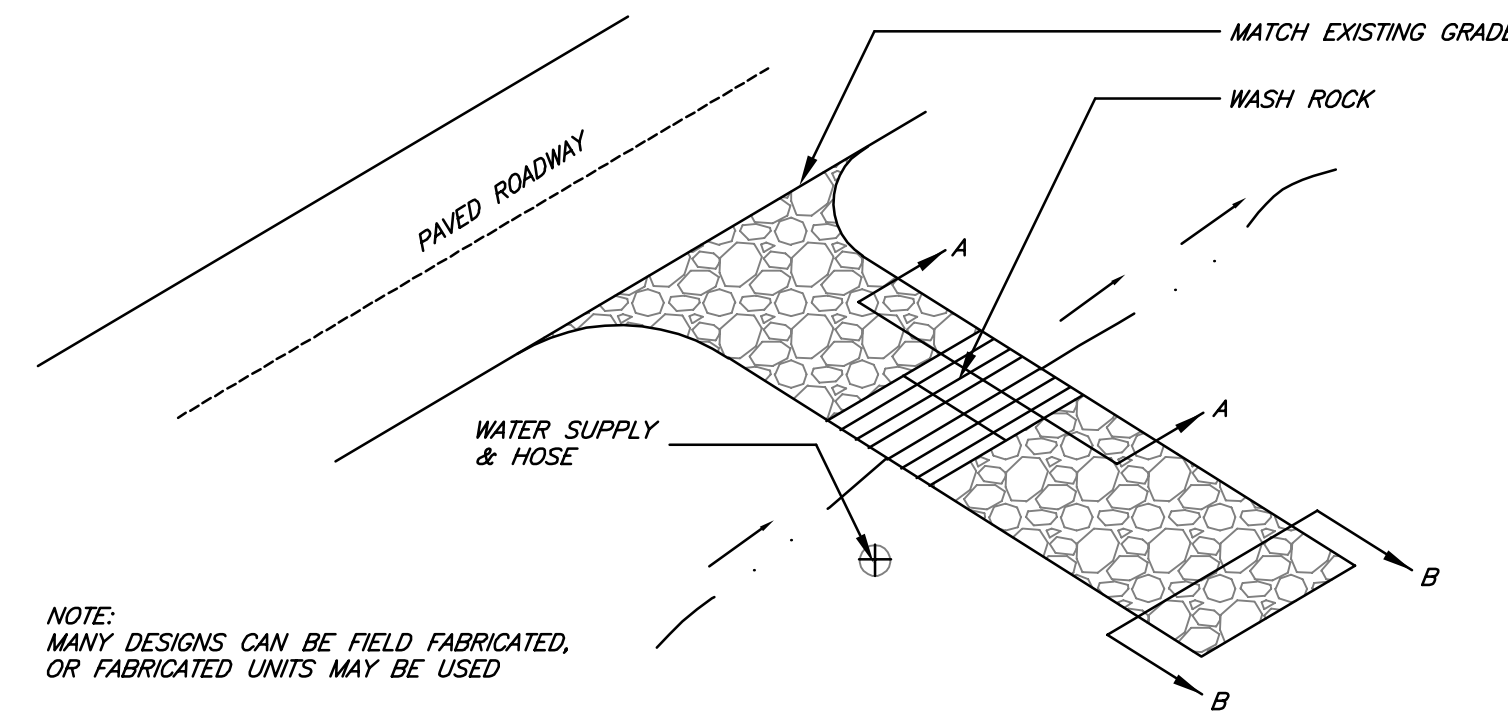
③ STABILIZED CONSTRUCTION ENTRANCE/EXIT  
N.T.S.



SECTION A-A  
N.T.S.



SECTION B-B  
N.T.S.



NOTE:  
MANY DESIGNS CAN BE FIELD FABRICATED, OR FABRICATED UNITS MAY BE USED

④ ENTRANCE / OUTLET TIRE WASH  
N.T.S.



(E) TREE TO REMAIN

(F) TREE PROTECTION ZONE (TPZ) FENCING

(X) (E) TREE PROPOSED TO BE REMOVED - TOTAL: 74 TREES

REFER TO ARBORIST REPORT DATED 07/22/2018 PREPARED BY NIGEL BELTON FOR ADDITIONAL INFORMATION. ALL TREE PROTECTION AND REMOVAL REVISIONS ARE BASED ON THE UPDATED PLAN REVIEW MATRIX DATED 01/31/2019.

- THERE ARE 9 TREES SURVEYED THAT ARE NOT ON THE ARBORIST REPORT DUE TO SIZE

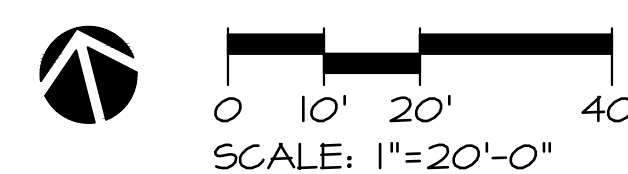
TREE PROTECTION AND REMOVAL NOTES

- A TREE PROTECTION ZONE (TPZ) SHALL BE ESTABLISHED AS SHOWN ON PLAN AND AS VERIFIED IN THE FIELD WITH OWNER'S REPRESENTATIVE OR PROJECT ARBORIST. PROJECT ARBORIST MUST INSPECT AND DOCUMENT THE INSTALLATION OF TREE PROTECTION BEFORE ANY EQUIPMENT COMES ON SITE.
- TREE PROTECTION ZONE FENCING - FENCE HEIGHT TO BE 6 FEET AND MUST COMPRISE OF STEEL CHAIN-LINK CONSTRUCTION, ATTACHED TO STEEL POSTS DRIVEN INTO THE GROUND. LAMINATED TREE PROTECTION NOTICES MUST BE ATTACHED TO TPZ FENCES AT DISTANCES OF EVERY 10-FEET (SEE TREE PROTECTION ZONE NOTICE TEMPLATE ABOVE). ALL CONSTRUCTION ACTIVITIES MUST BE EXCLUDED FROM FENCED TREE PROTECTION ZONES. THESE FENCES MUST NOT BE DISMANTLED OR MOVED AT ANY TIME DURING THE CONSTRUCTION PERIOD, WITHOUT FIRST OBTAINING THE CONSENT OF THE OWNER'S REPRESENTATIVE OR PROJECT ARBORIST.
- CONTRACTOR TO SUBMIT SCHEDULE OF TREE PROTECTION FENCE INSTALLATION AND REMOVAL FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO FENCE INSTALLATION OR REMOVAL.
- VEHICLES AND EQUIPMENT MUST BE EXCLUDED FROM TREE PROTECTION ZONES. NO MATERIALS, TOOLS, DEBRIS, EXCESS SOIL, CHEMICALS, OR WASTE PRODUCTS MAY BE STORED OR DISPOSED OF WITHIN THESE PROTECTED AREAS. SOLVENTS, LIQUIDS, CONCRETE WASH-OFF, OR ANY TYPE OF DEBRIS SHOULD BE DISPOSED OF PROPERLY, NEVER WITHIN THIS PROTECTED AREA.
- ALL TRENCHING NEAR EXISTING TREES TO REMAIN SHALL BE HAND DUG AND REVIEWED BY OWNER'S REPRESENTATIVE OR PROJECT ARBORIST.
- NO SOIL COMPACTION SHALL OCCUR WITHIN THE TPZ. SOIL SURFACE WITHIN THE TPZ SHALL BE MULCHED WITH A 4-INCH LAYER OF AGED WOOD CHIPS AND SET BACK 9-INCHES FROM TRUNKS AT GRADE. WOOD CHIP MULCH SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO ORDERING. SUBMIT MULCH SAMPLES TO OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- NATURAL GRADE AROUND TPZ SHALL BE MAINTAINED. NO ADDITIONAL FILL OR EXCAVATION WILL BE PERMITTED WITHIN AREAS OF TREE ROOT DEVELOPMENT.
- UNAUTHORIZED PRUNING OF ANY TREE SHALL NOT BE ALLOWED. IF ANY TREE CANOPY ENCLOSES ON THE PROJECT AREA, THE REQUIRED PRUNING WILL BE DONE WITH AUTHORITY OF OWNER'S REPRESENTATIVE OR PROJECT ARBORIST AND TO INTERNATIONAL SOCIETY OF ARBORICULTURE GUIDELINES (ISA) AND AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS.
- PROVIDE TEMPORARY IRRIGATION TO ALL TREES WITHIN THE FENCED AREA. CONTRACTOR TO PROVIDE WATERING SCHEDULE FOR OWNER'S REPRESENTATIVE REVIEW AND APPROVAL. WATERING SCHEDULE TO BE SUBMITTED FOR APPROVAL TEN (10) CALENDAR DAYS BEFORE CONSTRUCTION START DATE AND CONTINUE THROUGHOUT CONSTRUCTION UNTIL FINAL SIGN OFF BY OWNER'S REPRESENTATIVE.
- CONTRACTOR TO REMOVE TREES AS SHOWN ON THE PLAN. PRIOR TO REMOVAL, CONTRACTOR TO CLEARLY MARK TREES AND WALK SITE WITH OWNER'S REPRESENTATIVE TO VERIFY TREES TO BE REMOVED.
- CONTRACTOR TO FULLY REMOVE AND GRIND ALL STUMPS OF TREES TO BE REMOVED.
- TREE PROTECTION FENCING TO BE REMOVED BY CONTRACTOR AFTER COMPLETION OF CONSTRUCTION AND AS DIRECTED BY OWNER'S REPRESENTATIVE.
- REFER TO CIVIL PLANS FOR EROSION CONTROL INFORMATION.
- REFER TO CIVIL PLANS FOR GRADING AND DRAINAGE INFORMATION.

ARBORIST'S INSPECTION SCHEDULE

- THE PROJECT ARBORIST MUST ATTEND A PRE-CONSTRUCTION MEETING WITH THE GENERAL CONTRACTOR AND THE GRADING CONTRACTOR BEFORE ANY SITE WORK PROCEEDS IN ORDER TO DISCUSS TREE PROTECTION REQUIREMENTS. THE PROJECT ARBORIST MUST ALSO BE NOTIFIED CONCERNING SCHEDULED SITE MEETINGS THROUGHOUT THE CONSTRUCTION PERIOD.
- TREE PROTECTION ZONE FENCING MUST BE INSTALLED AND APPROVED OF BY THE PROJECT ARBORIST BEFORE ANY EQUIPMENT COMES ON SITE AND ANY SITE WORK PROCEEDS.
- THE PROJECT ARBORIST MUST PROVIDE SUPERVISION AND OVERSIGHT IN THE EVENT THAT ANY GRADING, EXCAVATION OR TRENCHING WORK WILL ENCRoACH WITHIN THE TREE PROTECTION ZONES DEFINED BY TPZ FENCES. THE PROJECT ARBORIST MUST PROVIDE DIRECTION AND SUPERVISION CONCERNING REQUIRED ROOT PRESERVATION AND ROOT PRUNING MEASURES.
- THE PROJECT ARBORIST MUST PROVIDE SUPERVISION AND OVERSIGHT CONCERNING ALL CONSTRUCTION DISTURBANCES THAT ENCRoACH WITHIN THE CRITICAL ROOT ZONES AREAS OF PROTECTED TREES (AS DEFINED BY THEIR CANOPY DRIP LINE PERIMETERS OR THEIR TRUNK DIAMETER MEASUREMENTS).
- THE PROJECT ARBORIST MUST BE NOTIFIED IN THE EVENT THAT SIGNIFICANT ROOT, 2-INCH DIAMETER OR LARGER, ARE FOUND DURING ANY GRADING, TRENCHING, AND CONSTRUCTION ACTIVITIES. THE WORK SHALL STOP. ROOTS SHALL BE COVERED WITH BURLAP OR MULCH, AND OWNER'S REPRESENTATIVE OR PROJECT ARBORIST CONTACTED TO PROVIDE RECOMMENDATIONS ON ROOT CUTTING AND TREATMENT OF IMPACTED ROOTS PRIOR TO CONTINUING WORK.
- PROJECT ARBORIST TO PROVIDE GUIDANCE AND SUPERVISION PERTAINING TO REQUIRED TREE PRUNING WORK. MEET WITH THE APPROVED TREE SERVICE PROVIDER TO DISCUSS THE REQUIRED SCOPE OF WORK AND PROVIDE INSPECTIONS AND OVERSIGHT AS NEEDED.

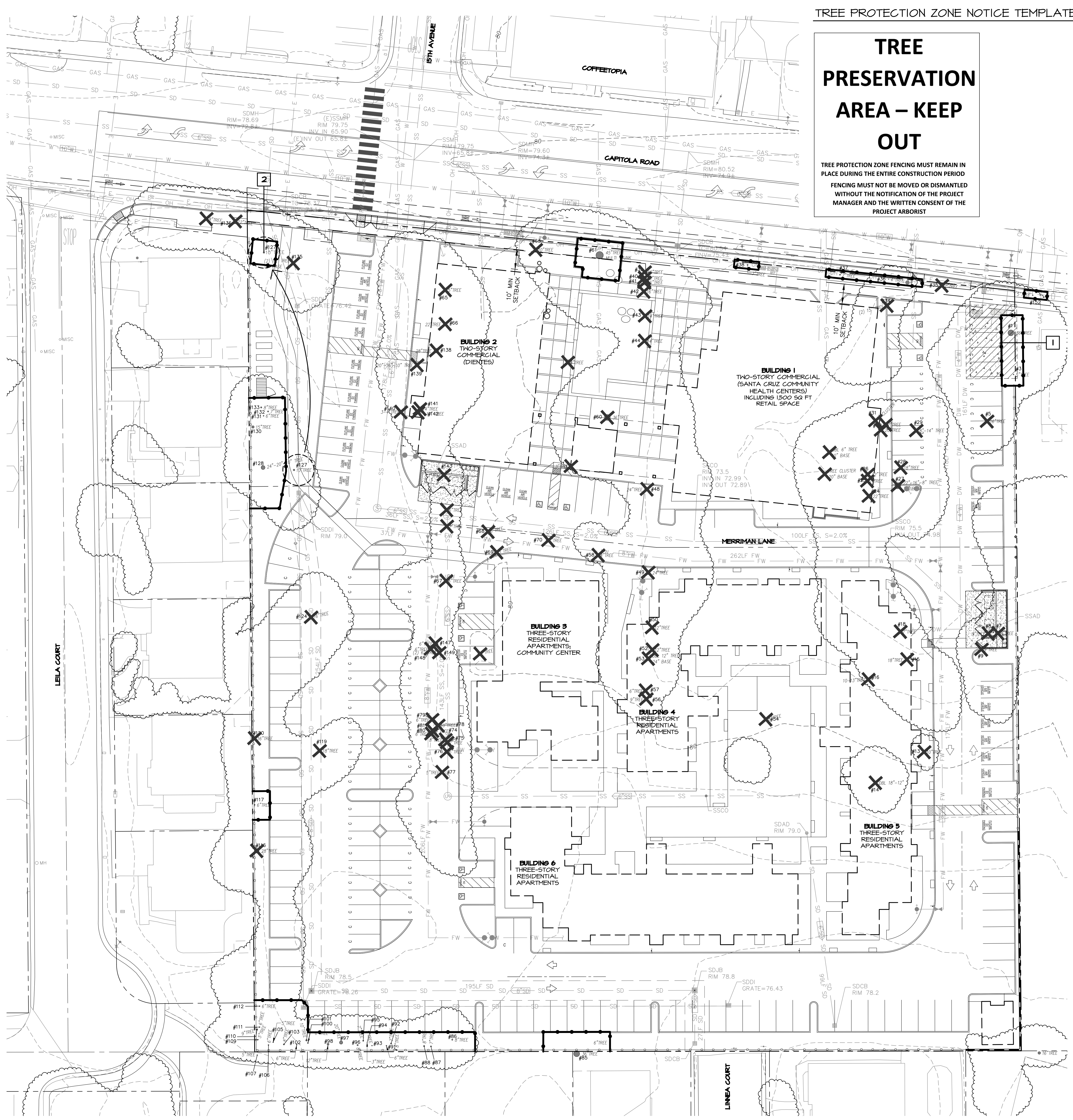
- CONTRACTOR TO PERFORM AN EXPLORATORY TRENCH TO LOCATE ANY 2-INCH DIAMETER OR LARGER ROOTS THAT MAY REQUIRE PRUNING. TRENCH TO BE CAREFULLY DUG BY HAND OR WITH AN AIR SPADE AT THE PROPOSED CURB LINE WITHIN HATCHED ZONE BEFORE GRADING.
- EXISTING TRACHYCARPUS FORTUNEI (WINDMILL PALM) TO BE TRANSPLANTED ON SITE.



**TREE PRESERVATION AREA - KEEP OUT**

TREE PROTECTION ZONE FENCING MUST REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PERIOD

FENCING MUST NOT BE MOVED OR DISMANTLED WITHOUT THE NOTIFICATION OF THE PROJECT MANAGER AND THE WRITTEN CONSENT OF THE PROJECT ARBORIST



2340 GARDEN ROAD, SUITE 100  
MONTEREY, CALIFORNIA 93940  
PHONE: 831.649.4642  
FAX: 831.649.3530  
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515 SHAW ST. SANTA CRUZ, CA 95060  
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**MID-PEN HOUSING**  
**1500 CAPITOLA ROAD MIXED-USE**

MID-PEN HOUSING CORP.  
WATSONVILLE DEVELOPMENT OFFICE  
275 MAIN STREET, SUITE 204, WATSONVILLE, CA 95076  
A.P.N.: 026-741-12, 026-741-13, 026-741-14, 026-741-15

JOB NO:  
**17088**

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11082019 COUNTY APPLICATION PACKAGE  
03102019 COUNTY RESUBMITTAL APPLICATION PACKAGE  
06102019 COUNTY RESUBMITTAL APPLICATION PACKAGE

SHEET NAME:  
**TREE PROTECTION AND REMOVAL PLAN**

SHEET NO.:

**TPZ1.00**

FILE NAME:

T:\PROJECTS\18-100 MidPen-17th & Capitola Drawings\17th CAPITOLA LANDSCAPE.dwg, 5/10/2019 8:50:08 AM, AutoCAD PDF (High Quality Print).p3, ARCH full bleed E1 (20.00 x 42.00 inches), 11



**EXISTING TREES TO BE REMOVED**

IDENTIFICATION NUMBER	SPECIES	TRUNK DIAMETER AT 54-INCHES ABOVE GRADE	TREES ARBORIST RECOMMENDED FOR REMOVAL BASED ON TREE LOCATION IN PROJECT AREA
5	QUERCUS AGRIFOLIA	14"	?
7	QUERCUS AGRIFOLIA	4"	X
8	QUERCUS AGRIFOLIA	7"	X
9	QUERCUS AGRIFOLIA	7"	X
13	QUERCUS AGRIFOLIA	5/4"	X
14	QUERCUS AGRIFOLIA	14/11/13"	X
15	QUERCUS AGRIFOLIA	15"	X
16	QUERCUS AGRIFOLIA	4"	X
18	QUERCUS AGRIFOLIA	6"	X
24	QUERCUS AGRIFOLIA	19"	X
25	QUERCUS AGRIFOLIA	7"	X
26	QUERCUS AGRIFOLIA	20"	X
27	QUERCUS AGRIFOLIA	20/11/8"	?
28	QUERCUS AGRIFOLIA	16"	X
29	QUERCUS AGRIFOLIA	15/9"	X
30	QUERCUS AGRIFOLIA	16"	X
31	QUERCUS AGRIFOLIA	6"	X
34	QUERCUS AGRIFOLIA	14/13"	X
35	PISTACIA CHINENSIS	6"	X
39	QUERCUS AGRIFOLIA	15"	?
40	QUERCUS AGRIFOLIA	9/9"	?
41	QUERCUS AGRIFOLIA	12"	?
42	QUERCUS AGRIFOLIA	8/17"	X
43	QUERCUS AGRIFOLIA	15"	X
44	QUERCUS AGRIFOLIA	8/8"	X
48	QUERCUS AGRIFOLIA	19"	X
49	QUERCUS AGRIFOLIA	25"	X
50	QUERCUS AGRIFOLIA	10"	X
52	QUERCUS AGRIFOLIA	15"	X
53	QUERCUS AGRIFOLIA	13/14"	X
54	QUERCUS AGRIFOLIA	7"	X
56	QUERCUS AGRIFOLIA	10"	X

IDENTIFICATION NUMBER	SPECIES	TRUNK DIAMETER AT 54-INCHES ABOVE GRADE	TREES ARBORIST RECOMMENDED FOR REMOVAL BASED ON TREE LOCATION IN PROJECT AREA
57	QUERCUS AGRIFOLIA	6"	X
58	PISTACIA CHINENSIS	5"	X
60	AFROCARPUS FALCATUS	36/14"	X
63	LIQUIDAMBAR STYRACIFLUA	8"	X
65	QUERCUS AGRIFOLIA	5"	X
66	QUERCUS AGRIFOLIA	22"	X
67	QUERCUS AGRIFOLIA	5"	X
68	QUERCUS AGRIFOLIA	4"	X
69	PISTACIA CHINENSIS	3"	X
70	PISTACIA CHINENSIS	4"	X
74	QUERCUS AGRIFOLIA	8"	X
75	QUERCUS AGRIFOLIA	8"	X
76	QUERCUS AGRIFOLIA	6"	X
77	QUERCUS AGRIFOLIA	7"	X
78	FRAXINUS ANGUSTIFOLIA 'RAYWOOD'	9"	X
79	QUERCUS AGRIFOLIA	6"	X
80	QUERCUS AGRIFOLIA	10"	X
81	QUERCUS AGRIFOLIA	7"	X
116	PINUS RADIATA	29"	X
119	EUCALYPTUS SPP.	18"	X
120	PINUS RADIATA	22"	X
124	FRAXINUS ANGUSTIFOLIA 'RAYWOOD'	16"	X
135	QUERCUS AGRIFOLIA	11/11"	X
136	PLATANUS X HISPANICA	11"	X
138	PINUS RADIATA	26"	X
139	QUERCUS AGRIFOLIA	13/16"	X
140	QUERCUS AGRIFOLIA	3/4"	X
141	QUERCUS AGRIFOLIA	13"	X
142	QUERCUS AGRIFOLIA	7/9"	X
143	QUERCUS AGRIFOLIA	7"	X
147	QUERCUS AGRIFOLIA	5"	X
148	QUERCUS AGRIFOLIA	8"	X
149	QUERCUS AGRIFOLIA	7"	X

TOTAL: 65 TREES TO BE REMOVED

**EXISTING TREES TO REMAIN**

IDENTIFICATION NUMBER	SPECIES	TRUNK DIAMETER AT 54-INCHES ABOVE GRADE	NOTES
1	QUERCUS AGRIFOLIA	32"	
3	QUERCUS AGRIFOLIA	5"	
36	PISTACIA CHINENSIS	4"	
37	PISTACIA CHINENSIS	7"	
38	PISTACIA CHINENSIS	7"	
61	AFROCARPUS FALCATUS	14/21/12/10/12/13/24"	
85	SEQUOIA SEMPERVIRENS	38"	
86	QUERCUS AGRIFOLIA	8/10/7"	
87	QUERCUS AGRIFOLIA	7"	
88	QUERCUS AGRIFOLIA	8"	
91	QUERCUS AGRIFOLIA	6"	
92	QUERCUS AGRIFOLIA	7"	
93	QUERCUS AGRIFOLIA	5/6"	
94	QUERCUS AGRIFOLIA	4"	
95	QUERCUS AGRIFOLIA	7"	
96	QUERCUS AGRIFOLIA	9"	
97	QUERCUS AGRIFOLIA	7/6/5"	
98	QUERCUS AGRIFOLIA	9/6"	
100	QUERCUS AGRIFOLIA	6"	
101	QUERCUS AGRIFOLIA	9"	
102	QUERCUS AGRIFOLIA	6"	
103	QUERCUS AGRIFOLIA	4"	
105	QUERCUS AGRIFOLIA	8"	
106	QUERCUS AGRIFOLIA	5"	
107	QUERCUS AGRIFOLIA	5"	
109	QUERCUS AGRIFOLIA	6"	
110	QUERCUS AGRIFOLIA	10"	
111	QUERCUS AGRIFOLIA	6"	
112	QUERCUS AGRIFOLIA	8"	
117	QUERCUS AGRIFOLIA	6"	
127	TRACHYCARPUS FORTUNEI	9"	TRANSPLANTED
128	SEQUOIA SEMPERVIRENS	25/21/10"	
130	WASHINGTONIA ROBUSTA	19"	
131	JUGLANS SPP.	6"	
132	JUGLANS SPP.	6"	
133	JUGLANS SPP.	8"	
152	PISTACIA CHINENSIS	4"	

TOTAL: 31 TREES TO REMAIN

**MID-PEN HOUSING  
1500 CAPITOLA ROAD MIXED-USE**

MID-PEN HOUSING CORP.  
WATSONVILLE DEVELOPMENT OFFICE  
275 MAIN STREET, SUITE 204, WATSONVILLE, CA 95076  
A.P.N.: 026-741-12, 026-741-13, 026-741-14, 026-741-15

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0512019 COUNTY RESUBMITTAL APPLICATION PACKAGE

SHEET NAME:  
**TREE PROTECTION AND REMOVAL LIST**

SHEET NO.:

**TPZ1.01**

FILE NAME:





**LEGEND**

- (E) TREE TO REMAIN (APPROXIMATE TREE CANOPY)  
SEE ARBORIST REPORT DATED 7/22/2018 FOR MORE INFORMATION.
- LARGE EVERGREEN TREE**  
- AREUTUS 'MARINA' (MARINA STRAWBERRY TREE)  
- QUERCUS AGRIFOLIA (COAST LIVE OAK)
- MEDIUM-TALL FLOWERING TREE**  
- LAGERSTROEMIA INDICA 'NATCHEZ' (GRAPE MYRTLE)
- MEDIUM-TALL PLAZA TREE WITH FOLIAGE INTEREST**  
- CERCIS CANADENSIS (EASTERN REDBUD)  
\* WITH FESTOON LIGHTING IN CANOPY
- LARGE DECIDUOUS TREE**  
- TILIA CORDATA (LITTLE-LEAF LINDEN)  
- ACER RUBRUM (RED MAPLE)
- RESIDENTIAL COURTYARD TREE**  
- LAURUS NOBILIS 'SARATOGA' (SARATOGA SWEET BAY)  
- GINKGO BILOBA (MAIDENHAIR TREE)

**TREE SUMMARY:**

PROPOSED NUMBER OF EXISTING TREES TO REMAIN: 37  
 PROPOSED NUMBER OF NEW TREES TO BE PLANTED: 115

**NOTES:**

1. ALL LIGHTING TO BE DARK SKY, SHIELDED, AND DOWNWARD DIRECTED.
2. REFER TO SHEET L1.02 FOR PLANTING LIST.

- OVERHEAD PARKING AREA LIGHTING
- LOW-LEVEL WALL LIGHTING
- DOUBLE SIDED WOOD FENCE (GOOD NEIGHBOR)
- DOUBLE SIDED WOOD FENCE ON RETAINING WALL
- DECORATIVE BRICK PAVING INLAY
- ACCESSIBLE SYNTHETIC TURF
- CROSSWALK WITH DECORATIVE PAVING
- PERMEABLE PAVING
- ASPHALT PAVING
- CONCRETE PAVING
- PLANTED TURFBLOCK FOR EMERGENCY VEHICLE ACCESS
- PLAZA PLANT LIST
- RESIDENTIAL PLANT LIST
- PARKING LOT AND SCREENING PLANT LIST
- WATER TOLERANT PLANT LIST
- 1** COMMERCIAL PLAZA GREEN WITH SEATING, TREES, ART SCULPTURES, AND SUNKEN TURF AREA WITH STEP LIGHTS ON STAIRS
- 2** DECORATIVE CROSSING TO COMMUNITY BUILDING AND RESIDENTIAL UNITS
- 3** COMMUNITY BUILDING ENTRY PLAZA WITH BENCHES, TABLES, AND PLANTING
- 4** EMERGENCY VEHICLE ACCESS
- 5** RESIDENTIAL COMMON AREAS WITH PICNIC TABLES, BARBEQUE, AND WASTE RECEPTACLES
- 6** RESIDENTIAL OPEN PLAY AREA WITH PLAY STRUCTURES (AGES 2-5, 5-8), TURF, AND DRINKING WATER FOUNTAIN
- 7** POTENTIAL FUTURE VEHICULAR AND PEDESTRIAN MIDDLEBLOCK CONNECTION WITH COLLAPSIBLE BOLLARDS
- 8** COMMUNITY GARDEN RAISED PLANTERS AND SHED
- 9** WASTE AND RECYCLE RECEPTACLE ENCLOSURE
- 10** MAINTENANCE SHED
- 11** SCREENING FOR LEILA COURT - DOUBLE-SIDED FENCE WITH OPTIONAL VERTICAL PLANTING
- 12** CONCRETE PATH (5'-0" WIDE) FROM CAPITOLA ROAD TO SITE
- 13** RETAINING WALL, REFER TO CIVIL DRAWINGS
- 14** HISTORIC WALL MURAL PAYING HOMAGE TO ROBERT MERRIMAN
- 15** TRELLIS WITH VINES
- 16** CLUSTER OF POTS WITH PLANTING
- 17** ARCHED ENTRANCE TO RESIDENTIAL COURTYARD WITH VINES AND INTEGRAL LIGHTING ON COLUMNS
- 18** CAPITOLA ROAD MONUMENT SIGN, REFER TO ARCHITECTURAL DRAWINGS
- 19** BUS STOP
- 20** EGG SCULPTURES BY ARTIST

**WR&D**  
**WALD RUTHKE & DOST**  
**ARCHITECTS LLP**  
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 MONTEREY, CALIFORNIA 93940  
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 California Landscape Architect License 3102

**MID-PEN HOUSING**  
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SHEET NAME:  
**LANDSCAPE SITE PLAN**

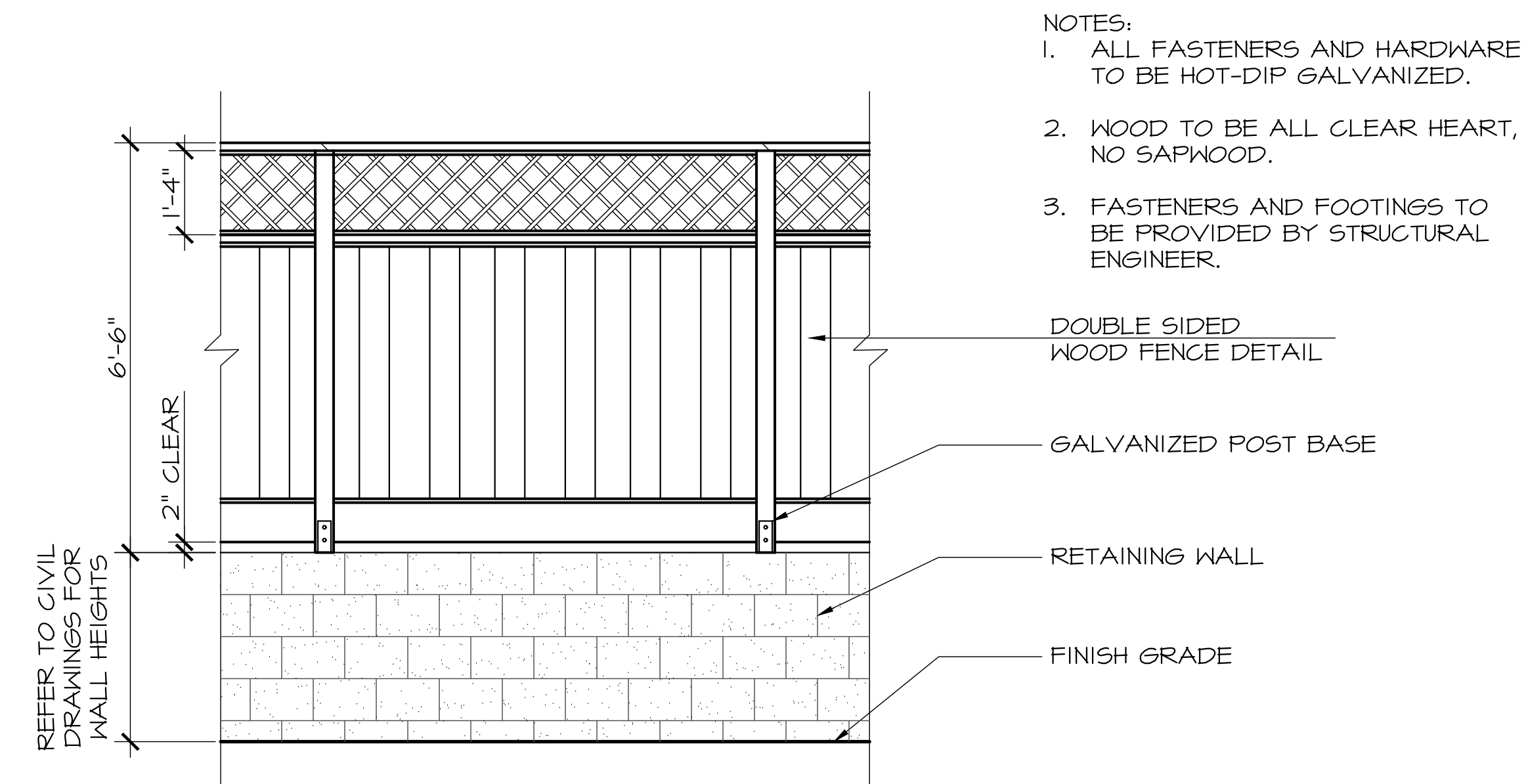
SHEET NO.:

**L1.00**

FILE NAME:

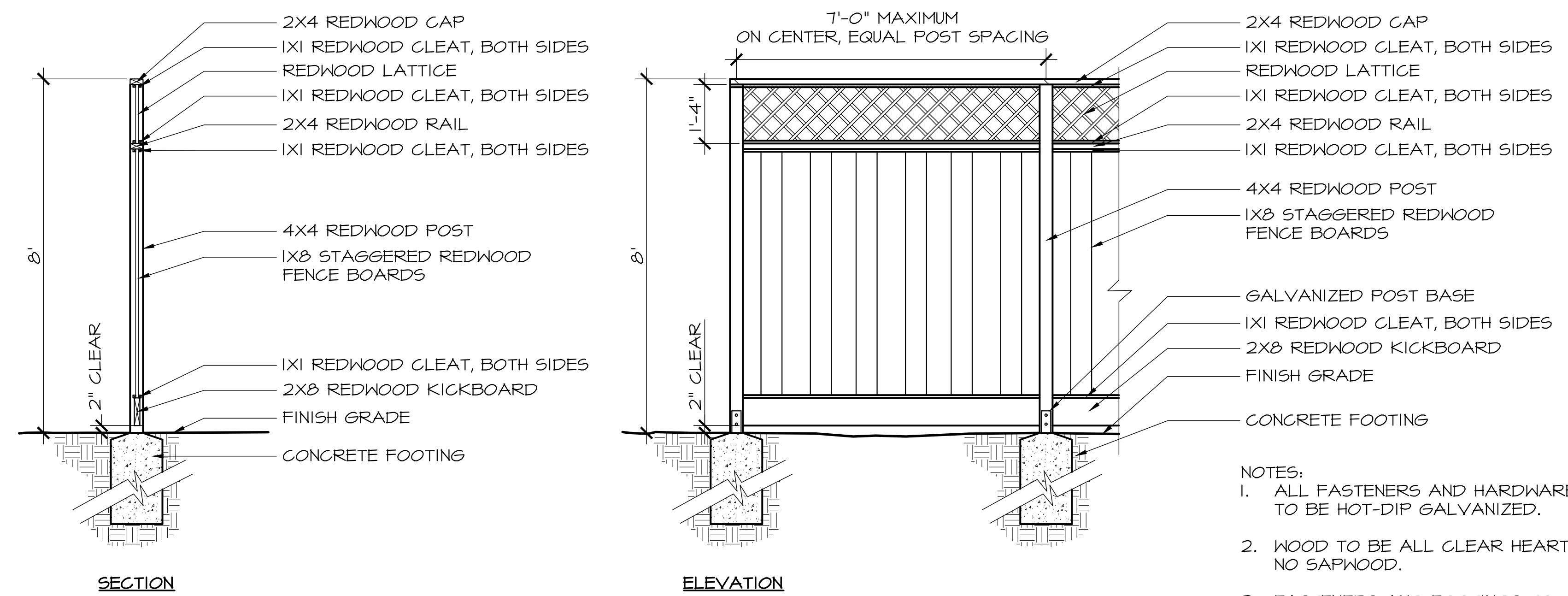
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 ARCH full bleed E1 (30.00 x 42.00 inches), 11





- NOTES:
1. ALL FASTENERS AND HARDWARE TO BE HOT-DIP GALVANIZED.
  2. WOOD TO BE ALL CLEAR HEART, NO SAPWOOD.
  3. FASTENERS AND FOOTINGS TO BE PROVIDED BY STRUCTURAL ENGINEER.

② FENCE ON WALL ELEVATION  
1/2" = 1'-0"



- NOTES:
1. ALL FASTENERS AND HARDWARE TO BE HOT-DIP GALVANIZED.
  2. WOOD TO BE ALL CLEAR HEART, NO SAPWOOD.
  3. FASTENERS AND FOOTINGS TO BE PROVIDED BY STRUCTURAL ENGINEER.

① DOUBLE SIDED WOOD FENCE DETAIL  
1/2" = 1'-0"

MID-PEN HOUSING  
1500 CAPITOLA ROAD MIXED-USE

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05152019 COUNTY RESUBMITTAL APPLICATION PACKAGE

SHEET NAME:  
LANDSCAPE MATERIALS DETAILS

SHEET NO.:

L1.01

FILE NAME:



**IRRIGATION NOTES**

- LOCATE AND PROTECT NEW AND EXISTING UTILITIES PRIOR TO EXCAVATION.
- DO NOT DAMAGE EXISTING UTILITIES, PAVING, OR STRUCTURES. PROVIDE THE NECESSARY REPAIRS AT NO ADDITIONAL COST TO THE OWNER.
- REMOVE DEBRIS AND ACCUMULATION OF DEBRIS AS RESULT OF IRRIGATION CONSTRUCTION FROM THE SITE AND LEAVE AREA IN A CLEAN CONDITION ACCEPTABLE TO THE OWNER.
- THE INTENT OF THIS IRRIGATION SYSTEM DESIGN IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- PROGRAM THE CONTROLLER TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLAN HEALTH. MAKE ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS, AND SLOPES, SUN, SHADE, AND WIND EXPOSURES.
- CONTRACTOR TO MAKE FINAL CONNECTION FROM ELECTRICAL OUTLET TO CONTROLLER AND PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL VERIFY THE STATIC PRESSURE PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR OF ANY VARIANCE TO THE STATED STATIC PRESSURE. DESIGN ADJUSTMENTS MAY BE REQUIRED TO PROVIDE THE PROPER WORKING PRESSURE.

**PLANTING LIST**

**PLAZA PLANT LIST**

- AGAVE ATTENUATA (AGAVE)
  - ANIGOZANTHOS HYBRIDS 'BUSH EMERALD' (KANGAROO PAW)
  - CALAMAGROSTIS FOLIOSA (LEAFY REEDGRASS)
  - CALAMAGROSTIS NUTKAENSIS (PACIFIC REEDGRASS)
  - CORREA 'IVORY BELLS' (AUSTRALIAN FUCHSIA)
  - LANTANA MONTEVIDENSIS 'WHITE LIGHTNIN' (WHITE LIGHTNIN' LANTANA)
  - LEUCADENDRON SPP. (LEUCADENDRON)
  - LOMANDRA LONGIFOLIA (DWARF MAT RUSH)
  - MUHLENBERGIA RIGENS (DEER GRASS)
  - PENSTEMON HETEROPHYLLUS 'MARGARITA' (BEARD TONGUE)
  - RIBES CALIFORNICUM (HILLSIDE GOOSEBERRY)
  - RIBES SANGUINEUM (RED FLOWERING CURRANT)
  - RIBES VIBURNIFOLIUM (EVERGREEN CURRANT)
  - SALVIA SONOMENSIS (SONOMA SAGE)
  - SARGOCOCCA RUSCIFOLIA (SWEET BOX)
- VINES:
- ROSA BANKSIAE 'ALBA PLENA' (WHITE LADY BANKS' ROSE)
  - WISTERIA SINENSIS (CHINESE WISTERIA)

**RESIDENTIAL PLANT LIST**

- AGROSTIS PALLENS (BENT GRASS)
- ANIGOZANTHOS FLAVIDUS (KANGAROO PAW)
- CALAMAGROSTIS FOLIOSA (LEAFY REEDGRASS)
- CALAMAGROSTIS NUTKAENSIS (PACIFIC REEDGRASS)
- CISTUS SALVIIFOLIUS (SAGELEAF ROCKROSE)
- COPRASMA X KIRKII (CREEPING COPRASMA)
- CORREA ALBA (WHITE AUSTRALIAN FUCHSIA)
- COTONEASTER PROCUMBENS 'QUEEN OF CARPETS' (COTONEASTER)
- LEONOTIS LEONURUS (LION'S TAIL)
- LEUCADENDRON SPP. (LEUCADENDRON)
- LOMANDRA LONGIFOLIA (DWARF MAT RUSH)
- MUHLENBERGIA RIGENS (DEER GRASS)
- PENSTEMON HETEROPHYLLUS 'MARGARITA' (BEARD TONGUE)
- ROSA 'ICEBERG' (WHITE SHRUB ROSE)
- ROSMARINUS OFFICINALIS (ROSEMARY)
- RUDBECKIA FULGIDA (BLACK-EYED SUSAN)
- SALVIA ELEGANS (PINEAPPLE SAGE)
- SALVIA SONOMENSIS (SONOMA SAGE)
- SARGOCOCCA HOOKERIANA HUMILIS (SWEET BOX)
- SARGOCOCCA RUSCIFOLIA (SWEET BOX)
- WESTRINGIA FRUITICOSA 'BLUE GEM' (COAST ROSEMARY)

**PARKING LOT AND SCREENING PLANT LIST**

- CAREX PANSA (CLUSTERED FIELD SEDGE)
- CAREX TUMULICOLA (BERKELEY SEDGE)
- CEANOETHUS 'JULIA PHELPS' (MILD LILAC)
- ELYMUS GLAUCUS (BLUE WILD RYE)
- ESCALLONIA SPP. (ESCALLONIA)
- GREVILLEA SPP. (GREVILLEA)
- LANTANA MONTEVIDENSIS 'WHITE LIGHTNIN' (WHITE LIGHTNIN' LANTANA)
- MYRTICA CALIFORNICA (PACIFIC WAX MYRTLE)
- PODOCARPUS (PODOCARPUS)
- RHAMNUS ALATERNUS 'JOHN EDWARDS' (ITALIAN BUCKTHORN)
- ROSA BANKSIAE 'ALBA PLENA' (WHITE LADY BANKS' ROSE)
- TECOMARIA CAPENSIS (CAPE HONEYSUCKLE)

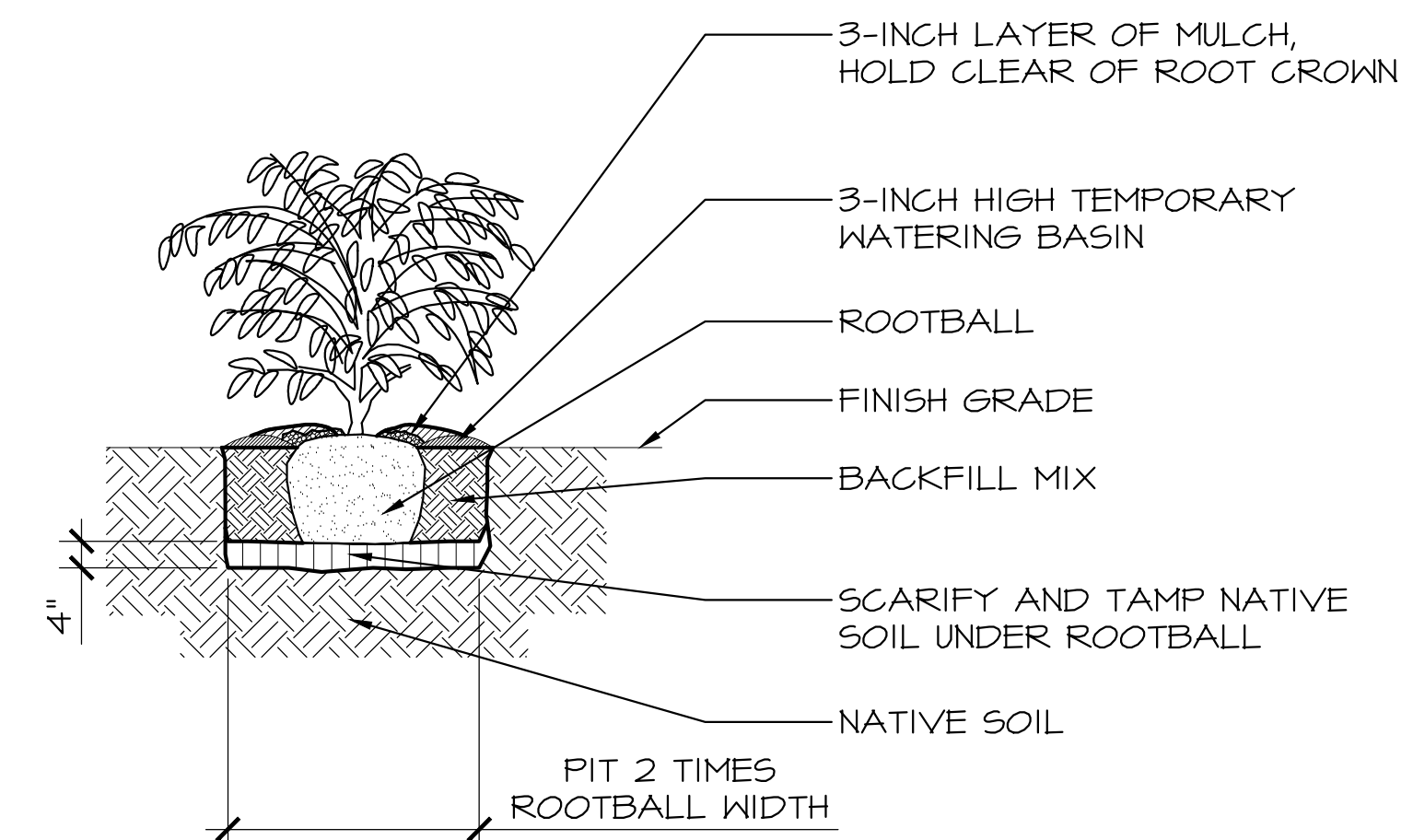
**WATER TOLERANT PLANT LIST**

- CAREX PANSA (CLUSTERED FIELD SEDGE)
- CAREX TUMULICOLA (BERKELEY SEDGE)
- ELYMUS GLAUCUS (BLUE WILD RYE)

**PLANTING NOTES**

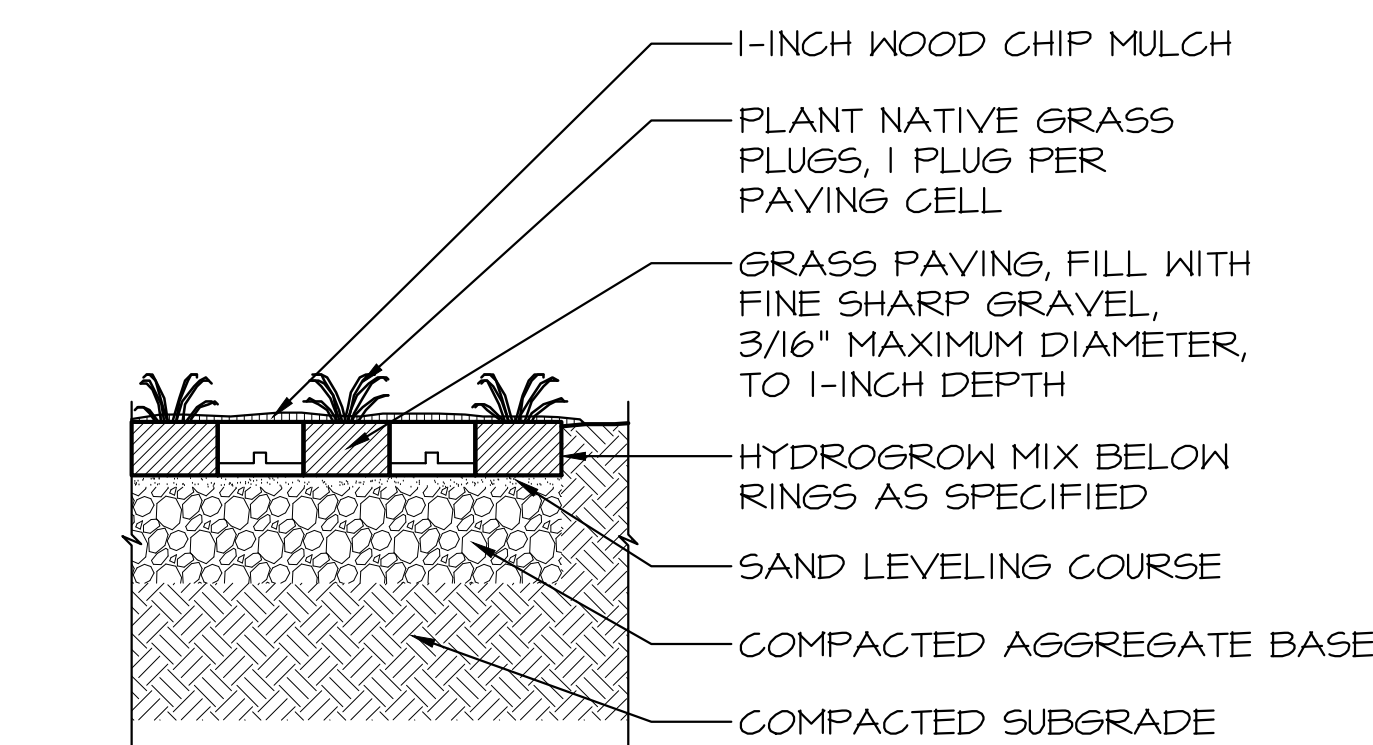
- ALL TREES TO BE MINIMUM 15-GALLON UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROCURE PLANT SPECIES WITHIN THIRTY (30) DAYS OF AWARD OF THE CONTRACT. CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING REQUIRED DEPOSITS TO ENSURE TIMELY PROCUREMENT OF THE SPECIFIED PLANTS. CONTRACTOR SHALL PROVIDE OWNER'S REPRESENTATIVE WITH WRITTEN VERIFICATION (RECEIPTS) SHOWING PROCUREMENT TO MEET THE PLANTING REQUIREMENTS.
- ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED IN PLACE UNLESS NOTED OTHERWISE. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE OF ANY KIND TO EXISTING TREES DURING THE COURSE OF CONSTRUCTION.
- HOLD FINISHED GRADES FOR SHRUB AREAS 1 1/2-INCHES BELOW TOP OF ADJACENT PAVEMENT OR WALLS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE A MINIMUM OF FIVE (5) DAYS IN ADVANCE TO SCHEDULE PLANT DELIVERY DATES. OWNER'S REPRESENTATIVE SHALL INSPECT PLANTS UPON ARRIVAL AND RESERVES THE RIGHT TO REJECT PLANTS.
- CONTRACTOR SHALL PLACE PLANTS AS SHOWN ON PLAN AND VERIFY LOCATION WITH OWNER'S REPRESENTATIVE. OWNER'S REPRESENTATIVE MAY REQUEST THAT CONTRACTOR ADJUST OR RELOCATE PLANTS ON-SITE AS NEEDED TO PROPERLY COMPLETE DESIGN.
- PROVIDE A MINIMUM OF 3 INCHES OF WOOD CHIP MULCH TO SOIL SURFACE AFTER PLANTING AND AROUND EXISTING TREES AND SHRUBS TO REMAIN. MULCH SHALL NOT BE PLACED WITHIN A 12-INCH DIAMETER OF TREE TRUNKS AND SHOULD BE KEPT FREE FROM THE CROWN OF ALL SHRUBS, GRASSES, AND PERENNIALS. DO NOT MULCH SEEDBED AREAS. MULCH FOR RAIN GARDENS SHALL BE GORILLA HAIR TYPE, AS ACCEPTED BY LANDSCAPE ARCHITECT. MULCH FOR ALL OTHER PLANTING AREAS SHALL BE 1/2-INCH TO 1-INCH DIAMETER COMPOSTED REDWOOD BARK, FREE OF STICKS, DIRT, AND OTHER DEBRIS, AS ACCEPTED BY LANDSCAPE ARCHITECT.
- CONTRACTOR TO REVIEW ALL PLANS AND SPECIFICATIONS FOR SUBMITTALS, TESTING, AND OTHER REQUIREMENTS. CONTRACTOR TO IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN SITE CONDITIONS AND INTENT OF THESE DRAWINGS. ANY CONFLICTS WILL BE RESOLVED PRIOR TO COMPLETING WORK.

NOTE:  
1. REMOVE TEMPORARY WATERING BASINS ONCE RAINY SEASON HAS COMMENCED.

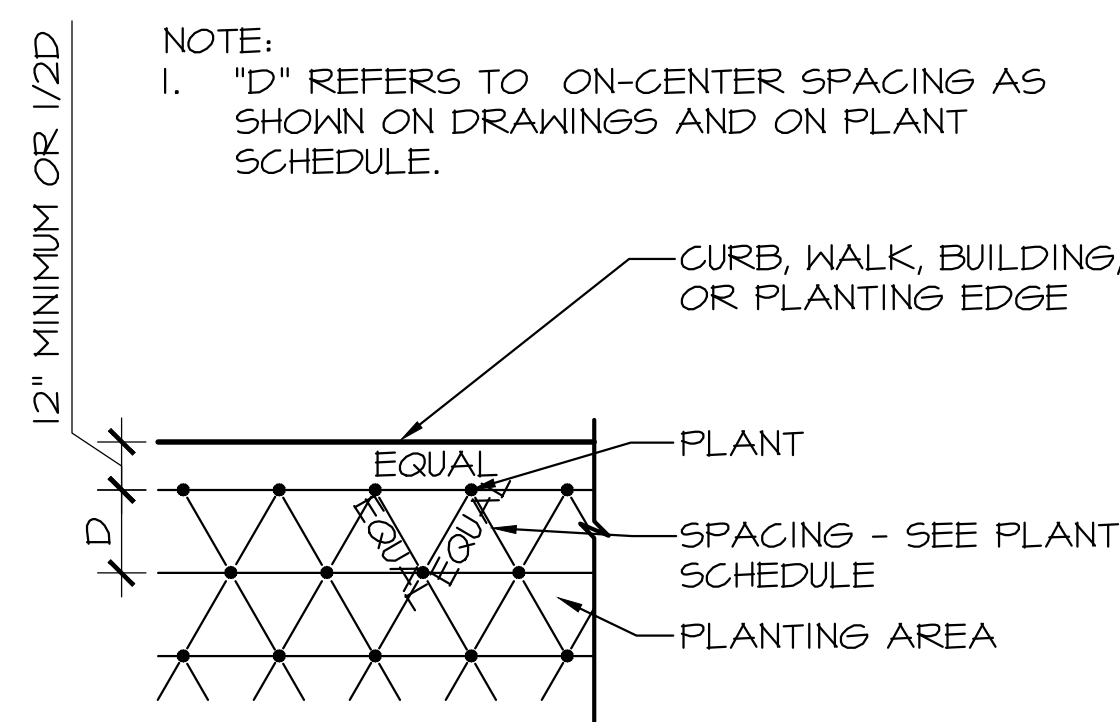


2 SHRUB PLANTING DETAIL  
1/2" = 1'-0"

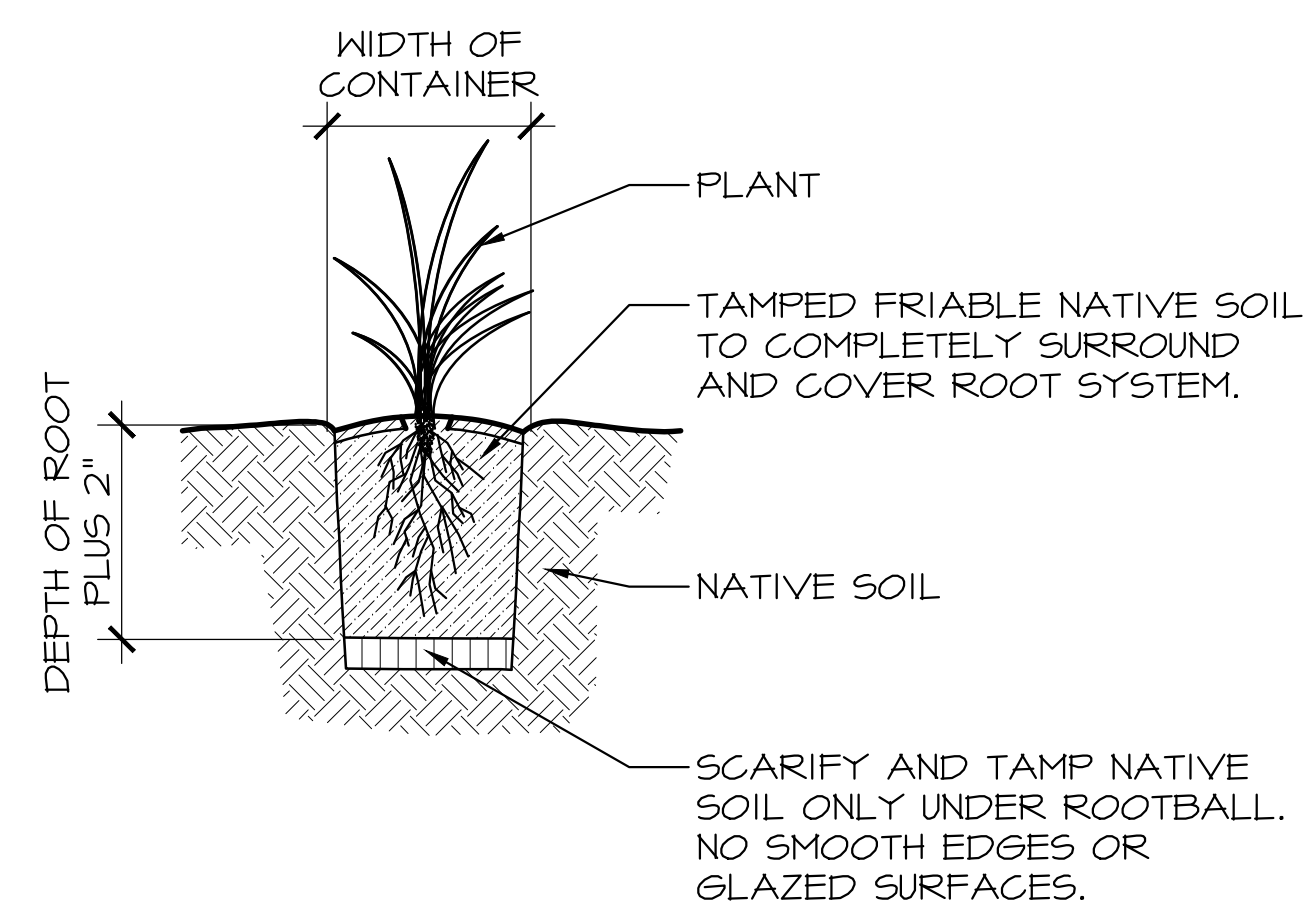
- NOTES:
- ALL TREES TO BE STAKED ON PREVAILING WIND SIDE WHEN TREE IS IN LEAF. VERIFY ALL CONNECTORS ARE SECURE AND TIGHT.
  - CONTRACTOR SHALL REMOVE NURSERY STAKE(S) AND TAGS FROM TREES UPON COMPLETION OF STAKING.
  - CONTRACTOR TO INSTALL ADDITIONAL HORIZONTAL STABILIZER BARS AS NEEDED IN WINDY CONDITIONS OR WITH EXCESSIVELY WHIPPY OR TOP HEAVY TREES.
  - REMOVE TEMPORARY WATERING BASINS ONCE RAINY SEASON HAS COMMENCED.
  - OWNER'S REPRESENTATIVE TO SELECT/TAG ALL PROJECT TREES AT NURSERY. CONTRACTOR TO COORDINATE AND PROVIDE PHOTOS OF PROPOSED TREES.
  - TREES SUPPLIED WITH TOPS TOO LARGE FOR TRUNKS TO SUPPORT SHALL BE PRUNED AS DIRECTED BY OWNER'S REPRESENTATIVE TO REDUCE CROWN HEIGHT. DO NOT REMOVE LATERALS ALONG TRUNK. DO NOT PRUNE TREES WITHOUT PRIOR APPROVAL FROM OWNER'S REPRESENTATIVE.
  - PLANTS WITH LARGE CIRCLING ROOTS OR KINKED ROOTS ON INTERIOR OF THE ROOTBALL WILL NOT BE ACCEPTED.
  - TREES SHALL BE SUPPLIED WITH WELL-TAPERED, STRONG TRUNKS WHICH WILL STAND ALONE.



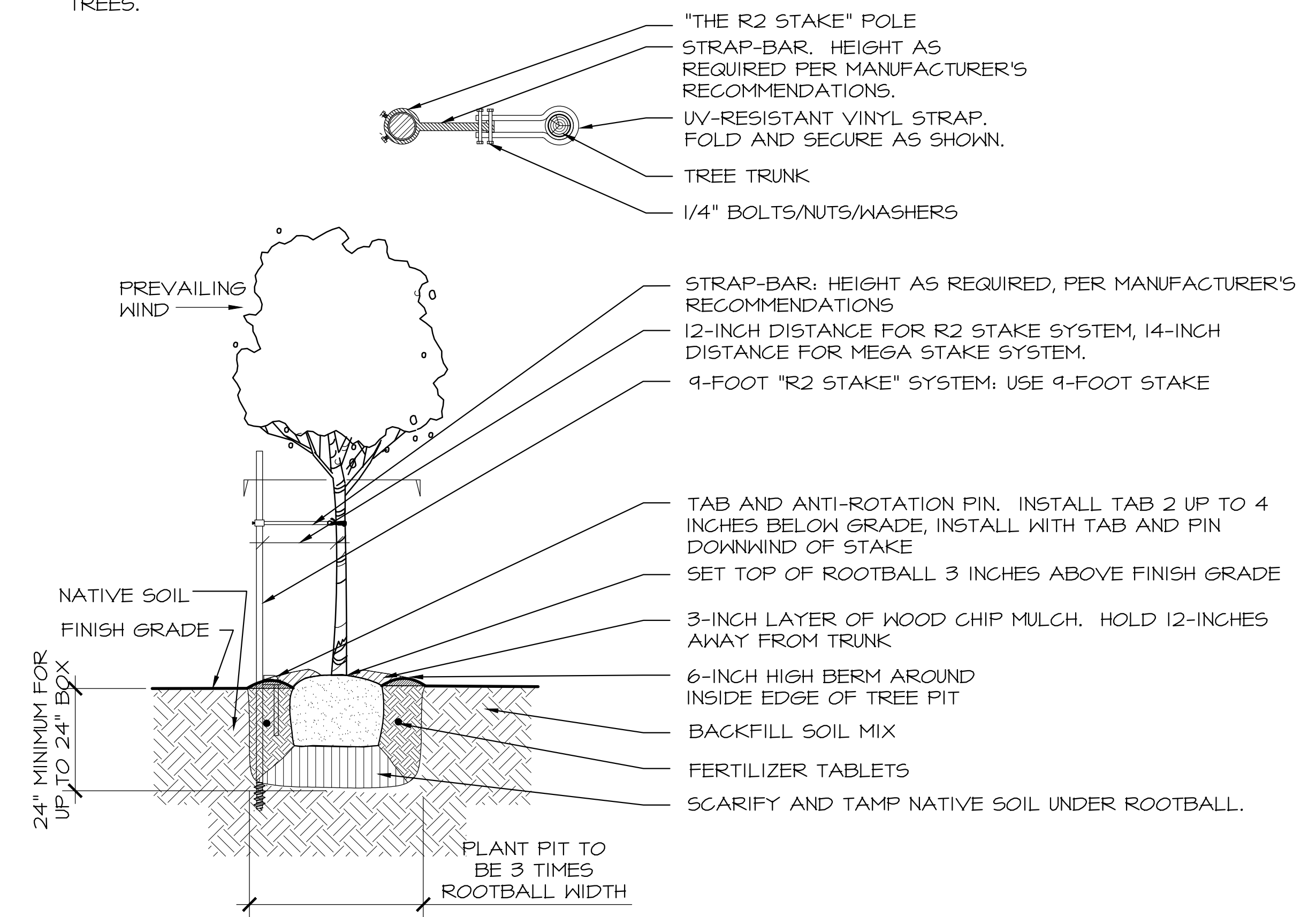
5 TURF BLOCK PLANTING DETAIL  
3/4" = 1'-0"



4 PLANT SPACING DETAIL  
NOT TO SCALE



3 PLUG PLANTING DETAIL  
NOT TO SCALE



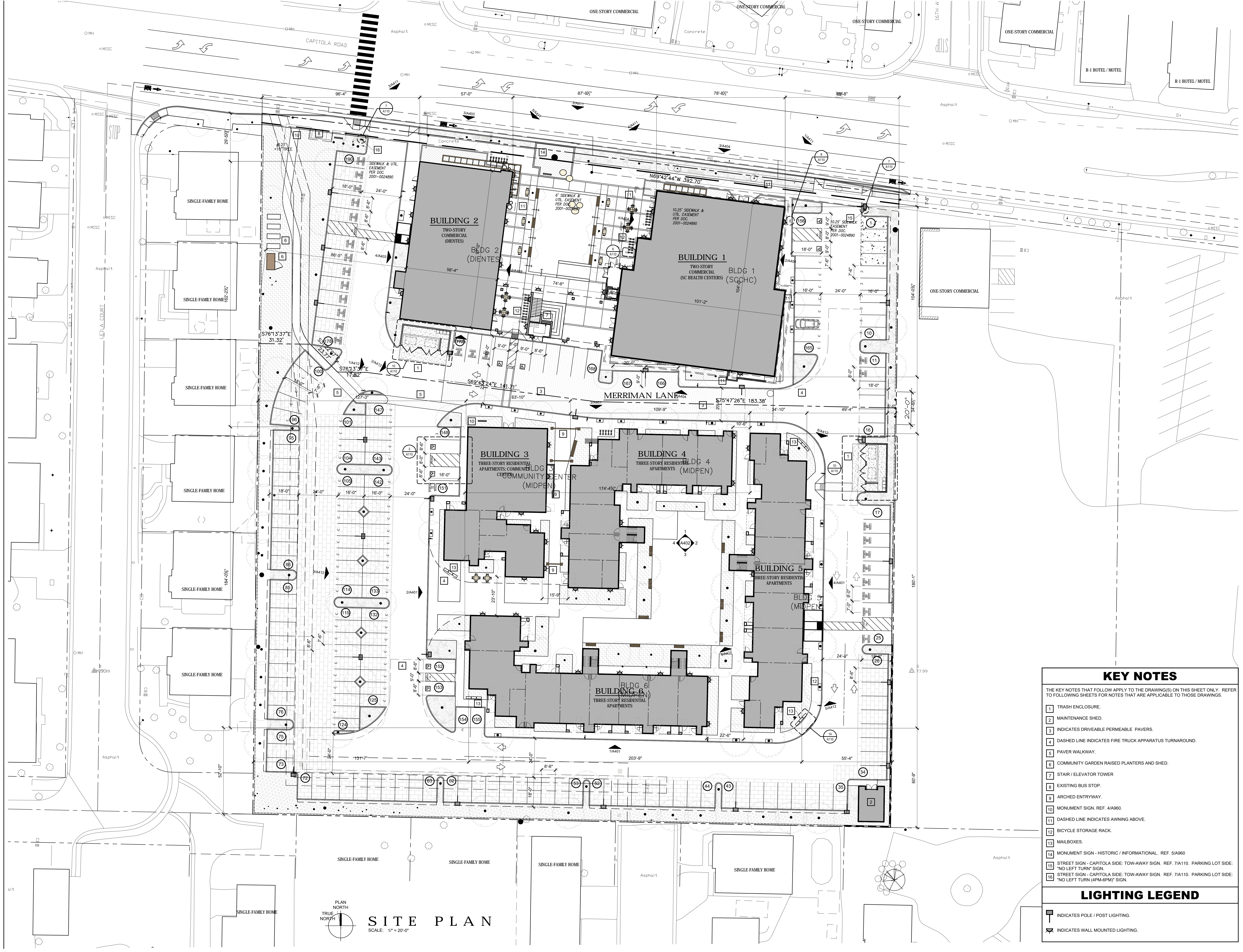
1 TREE PLANTING DETAIL  
1/2" = 1'-0"

T:\PROJECTS\18-100 MidPen-17th & Capitola Drawings\17TH CAPITOLA DETAILS.dwg, 5/17/2019 8:48:34 AM, DWG TO PDF.PCS  
ARCH full bleed E1 (20.00 x 42.00 inches), 11









PLAN NORTH  
 TRUE NORTH  
**SITE PLAN**  
 SCALE: 1" = 20'-0"

KEY NOTES	
THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.	
1	TRASH ENCLOSURE.
2	MAINTENANCE SHED.
3	INDICATES DRIVEABLE PERMEABLE PAVERS.
4	DASHED LINE INDICATES FIRE TRUCK APPARATUS TURNAROUND.
5	PAVER WALKWAY.
6	COMMUNITY GARDEN RAISED PLANTERS AND SHED.
7	STAIR / ELEVATOR TOWER
8	EXISTING BUS STOP.
9	ARCHED ENTRYWAY.
10	MONUMENT SIGN. REF. 4/A960.
11	DASHED LINE INDICATES AWNING ABOVE.
12	BICYCLE STORAGE RACK.
13	MAILBOXES.
14	MONUMENT SIGN - HISTORIC / INFORMATIONAL. REF. 5/A960
15	STREET SIGN - CAPITOLA SIDE: TOW-AWAY SIGN. REF. 7/A110. PARKING LOT SIDE: "NO LEFT TURN" SIGN
16	STREET SIGN - CAPITOLA SIDE: TOW-AWAY SIGN. REF. 7/A110. PARKING LOT SIDE: "NO LEFT TURN (4PM-6PM)" SIGN.
LIGHTING LEGEND	
	INDICATES POLE / POST LIGHTING.
	INDICATES WALL MOUNTED LIGHTING.









3 SHADOW PLAN  
JUNE 21ST, 10AM  
SCALE: N.T.S.



1 SHADOW PLAN  
DECEMBER 21ST, 10AM  
SCALE: N.T.S.



4 SHADOW PLAN  
JUNE 21ST, 2PM  
SCALE: N.T.S.



2 SHADOW PLAN  
DECEMBER 21ST, 2PM  
SCALE: N.T.S.

**WR&D**  
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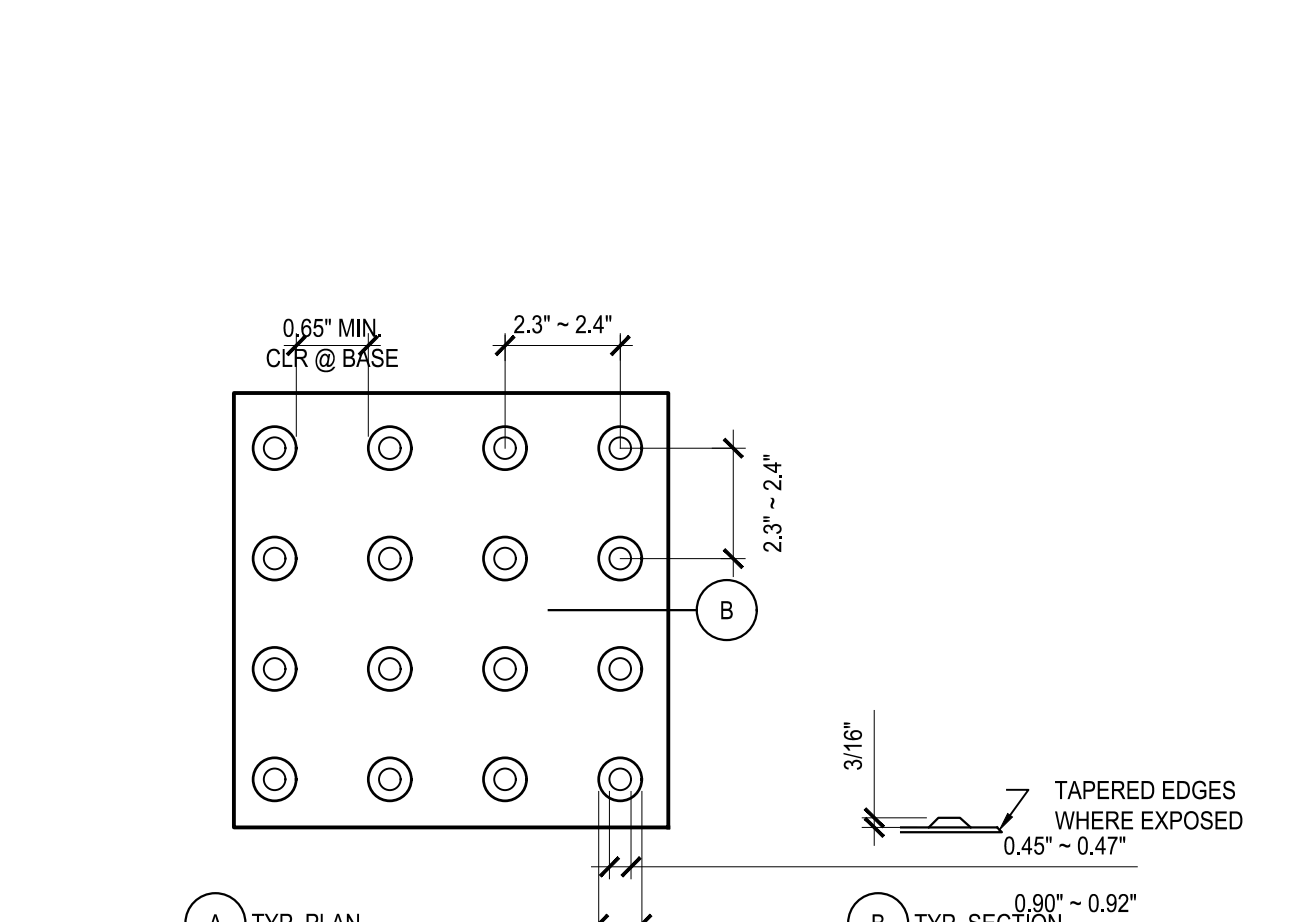
**MID-PEN HOUSING**  
**1500 CAPITOLA ROAD MIXED-USE**  
MID-PEN HOUSING CORP.  
WATSONVILLE DEVELOPMENT OFFICE  
275 MAIN STREET, SUITE 204, WATSONVILLE, CA 95076  
A.P.N.: 026-741-12, 026-741-13, 026-741-14, 026-741-15

JOB NO.  
**17088**  
PRINT DATE:  
PLOT DATE: 7.26.2019  
DRAWN BY: VV  
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SET ISSUED:  
11/06/2018 COUNTY APPLICATION PACKAGE  
02/15/2019 COUNTY RESUBMITTAL APPLICATION PACKAGE  
05/13/2019 COUNTY RESUBMITTAL APPLICATION PACKAGE

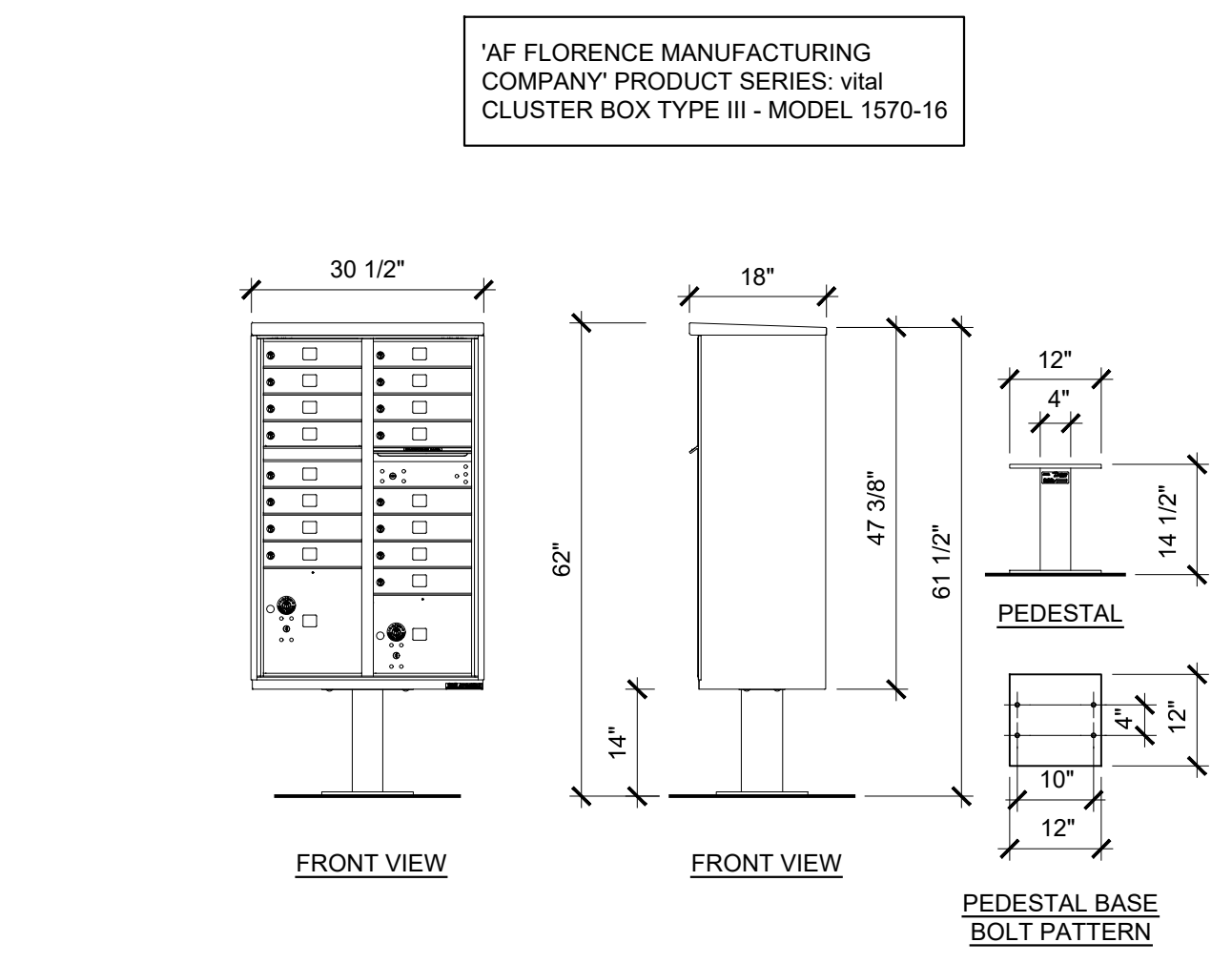
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**SHADOW PLANS**

SHEET NO.:  
**A102**  
FILE NAME: 17088A102

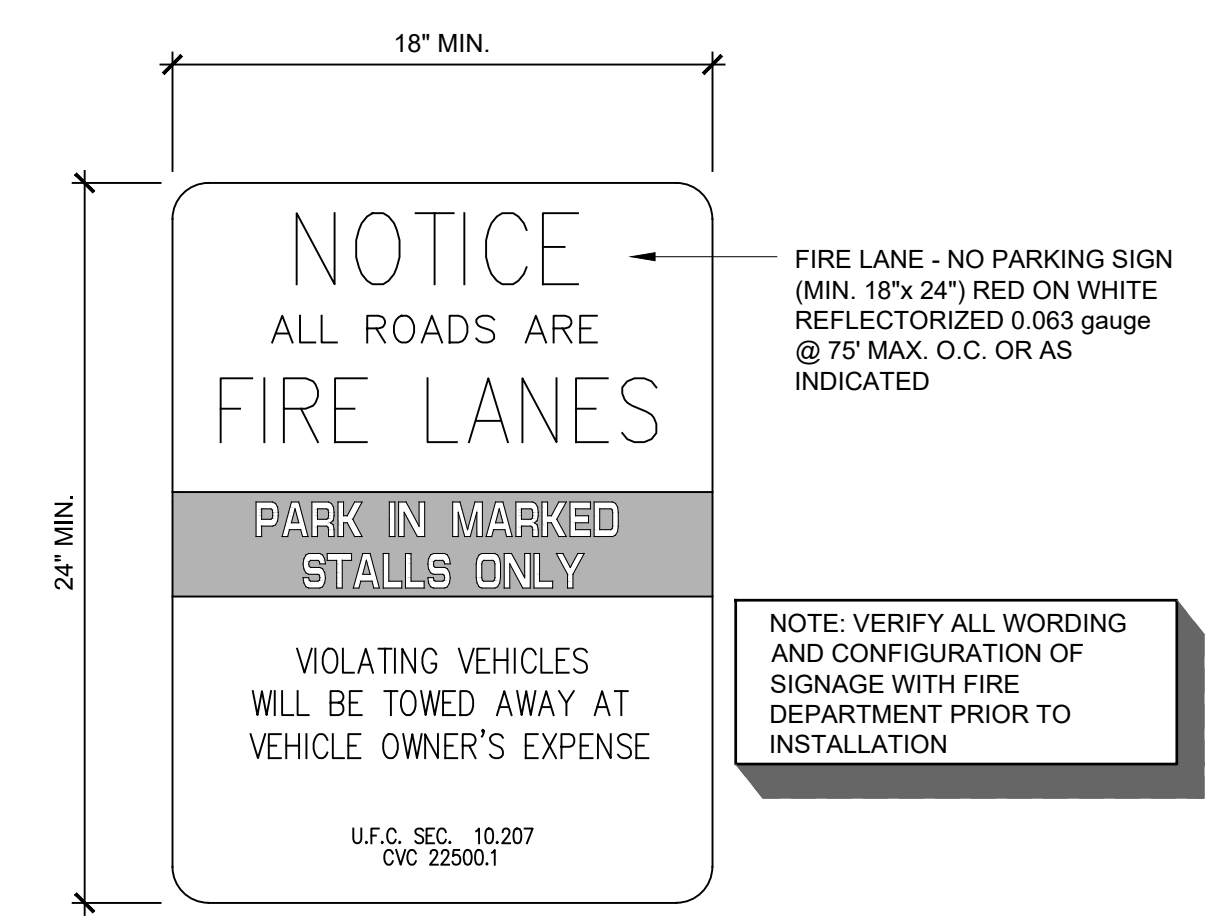




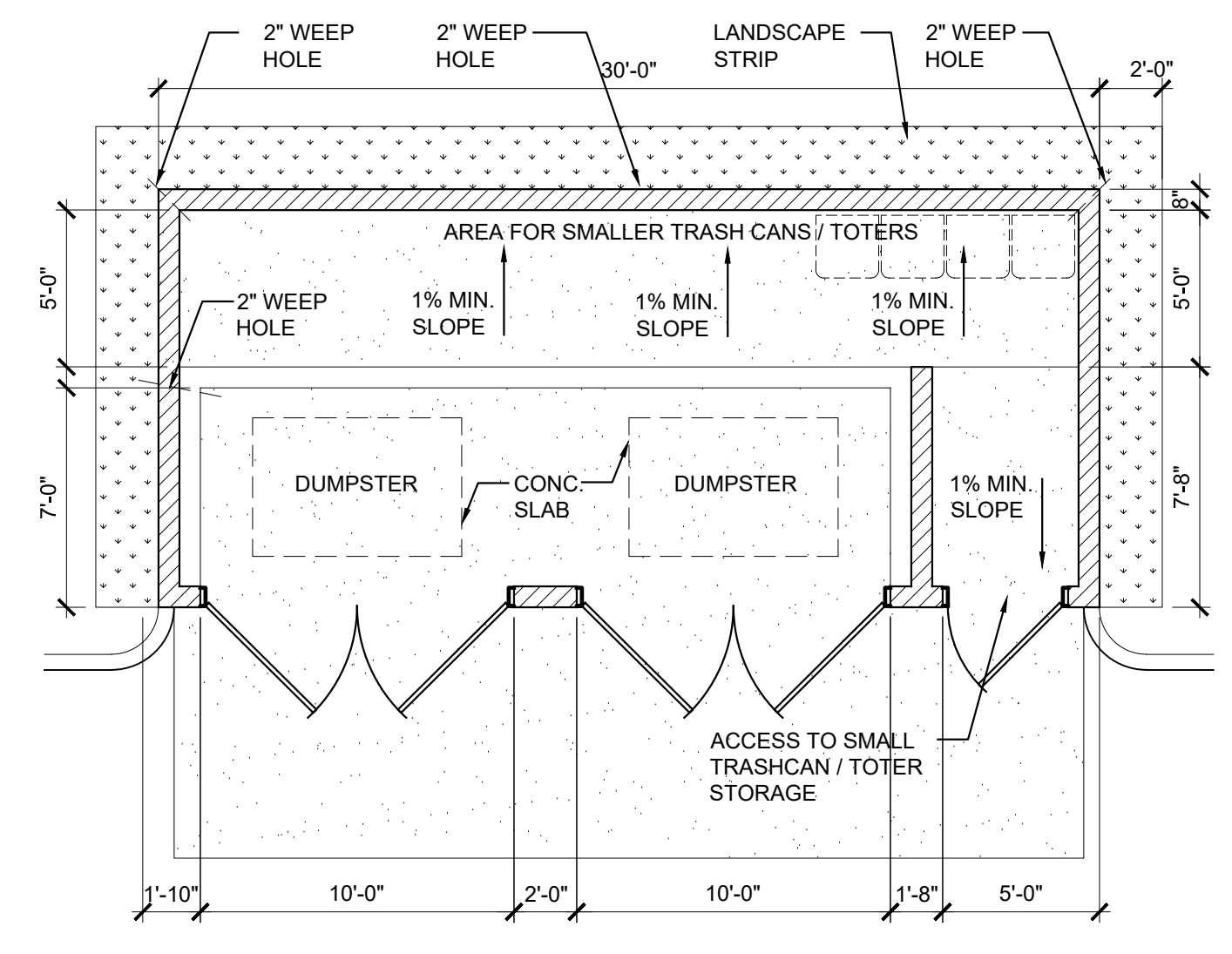
**13 TRUNCATED DOMES**  
SCALE: 3\"/>



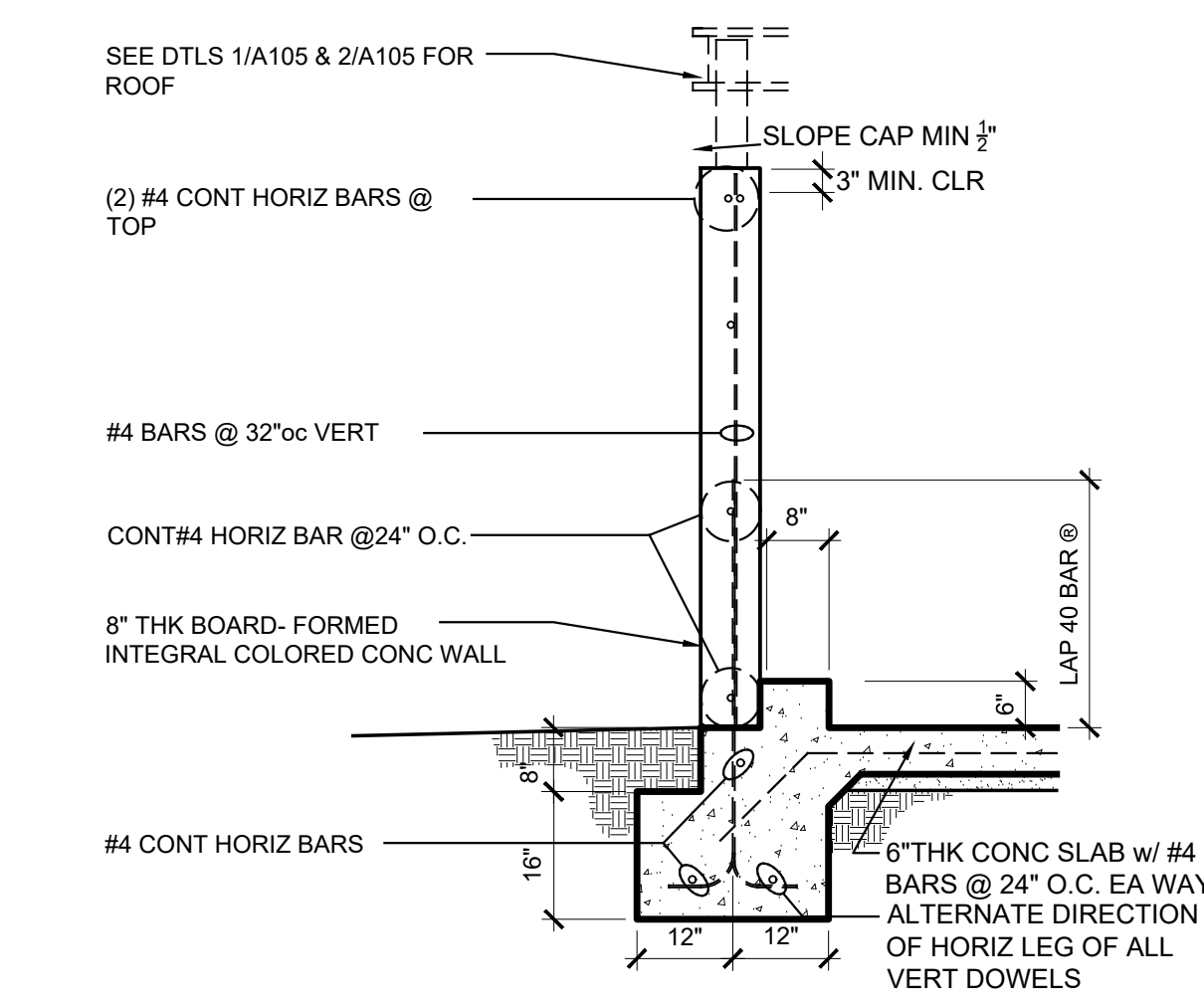
**14 MAILBOX**  
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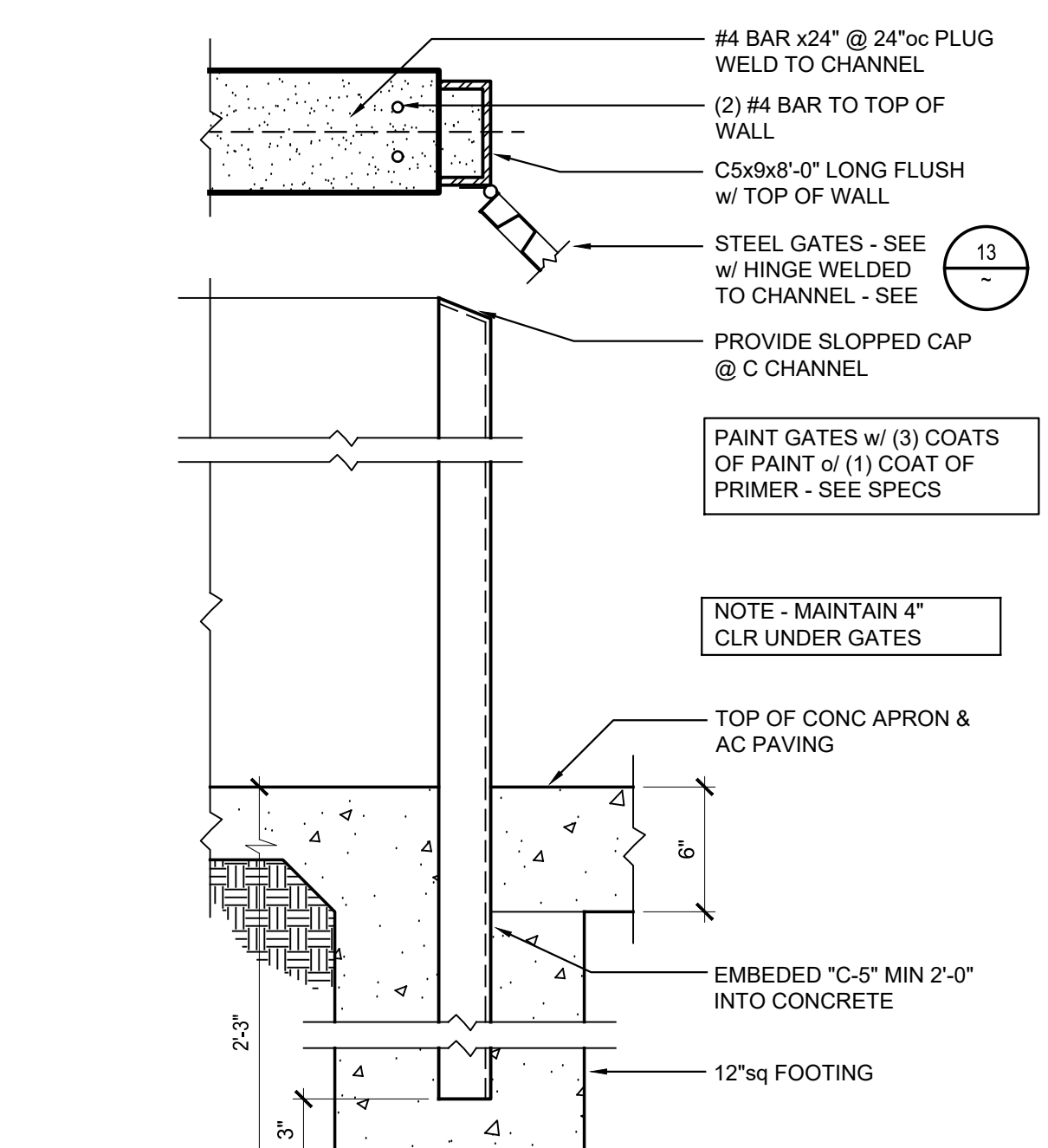
**9 FIRE LANE SIGN**  
SCALE: 3\"/>



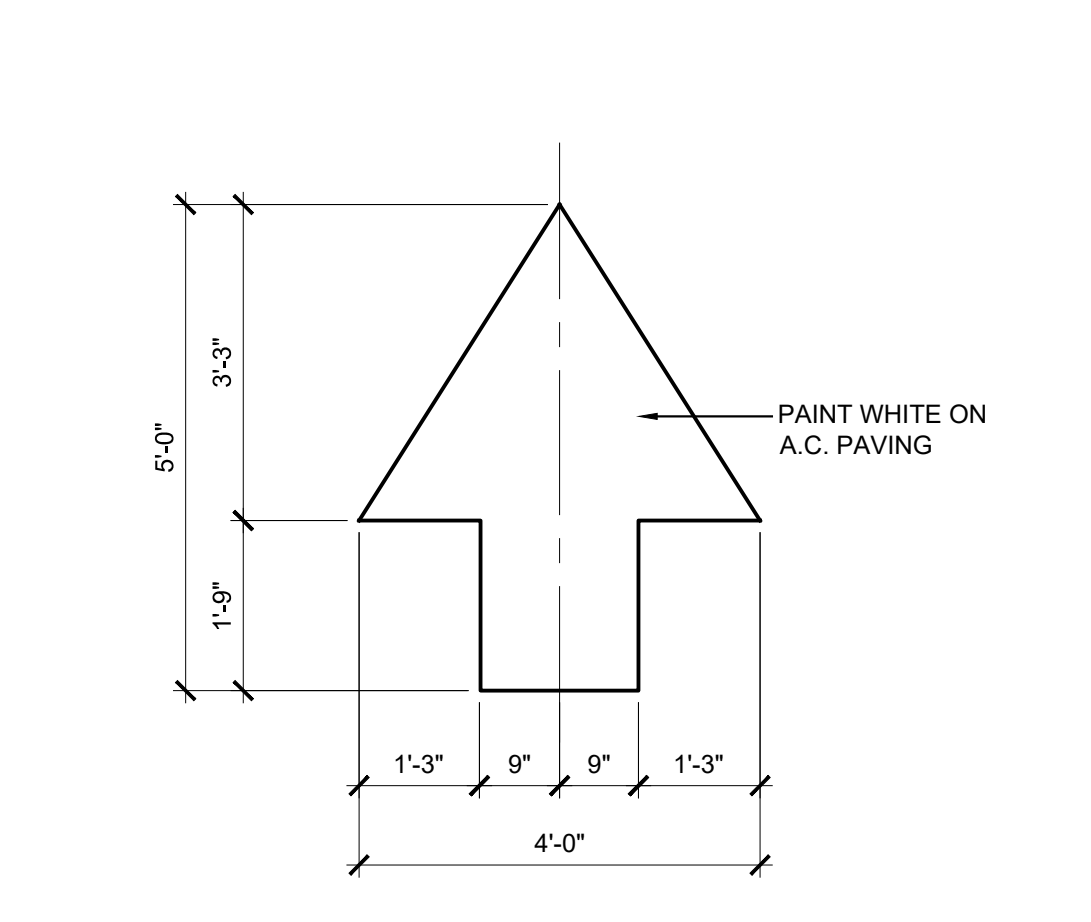
**10 TRASH ENCLOSURE**  
SCALE: 3\"/>



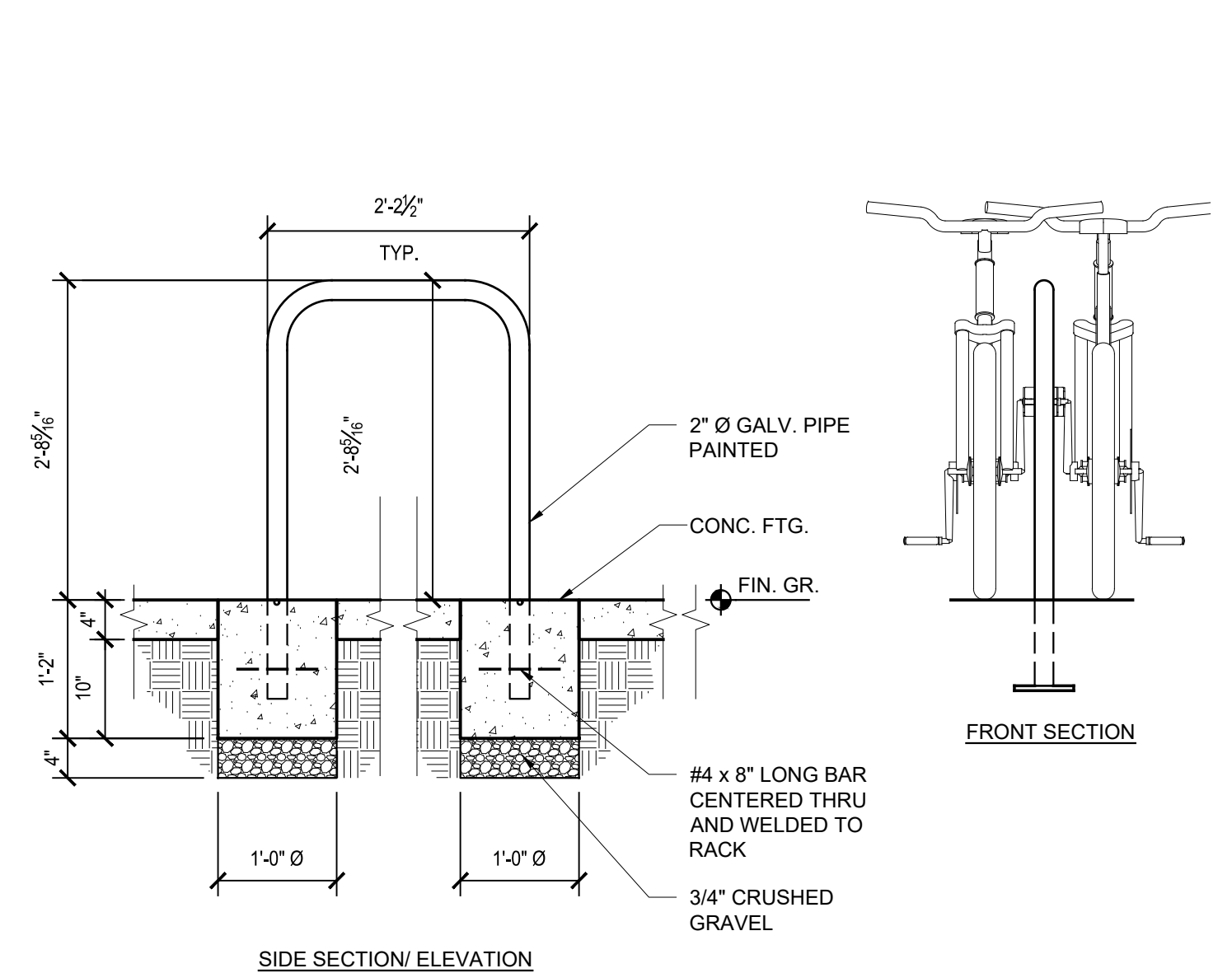
**11 TRASH ENCLOSURE CMU WALL**  
SCALE: 1\"/>



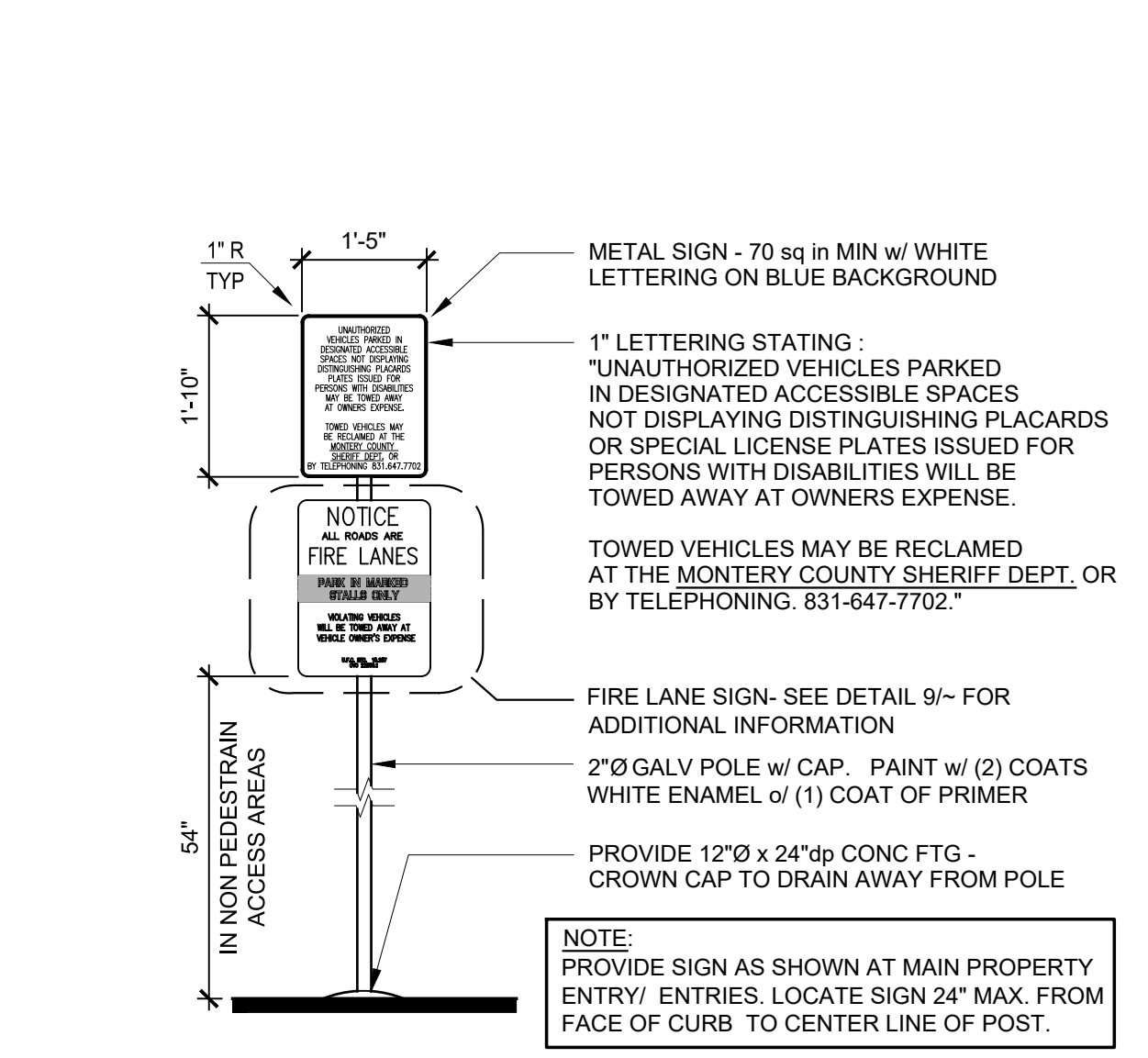
**12 TRASH ENCLOSURE JAMB - FOOTING**  
SCALE: 1\"/>



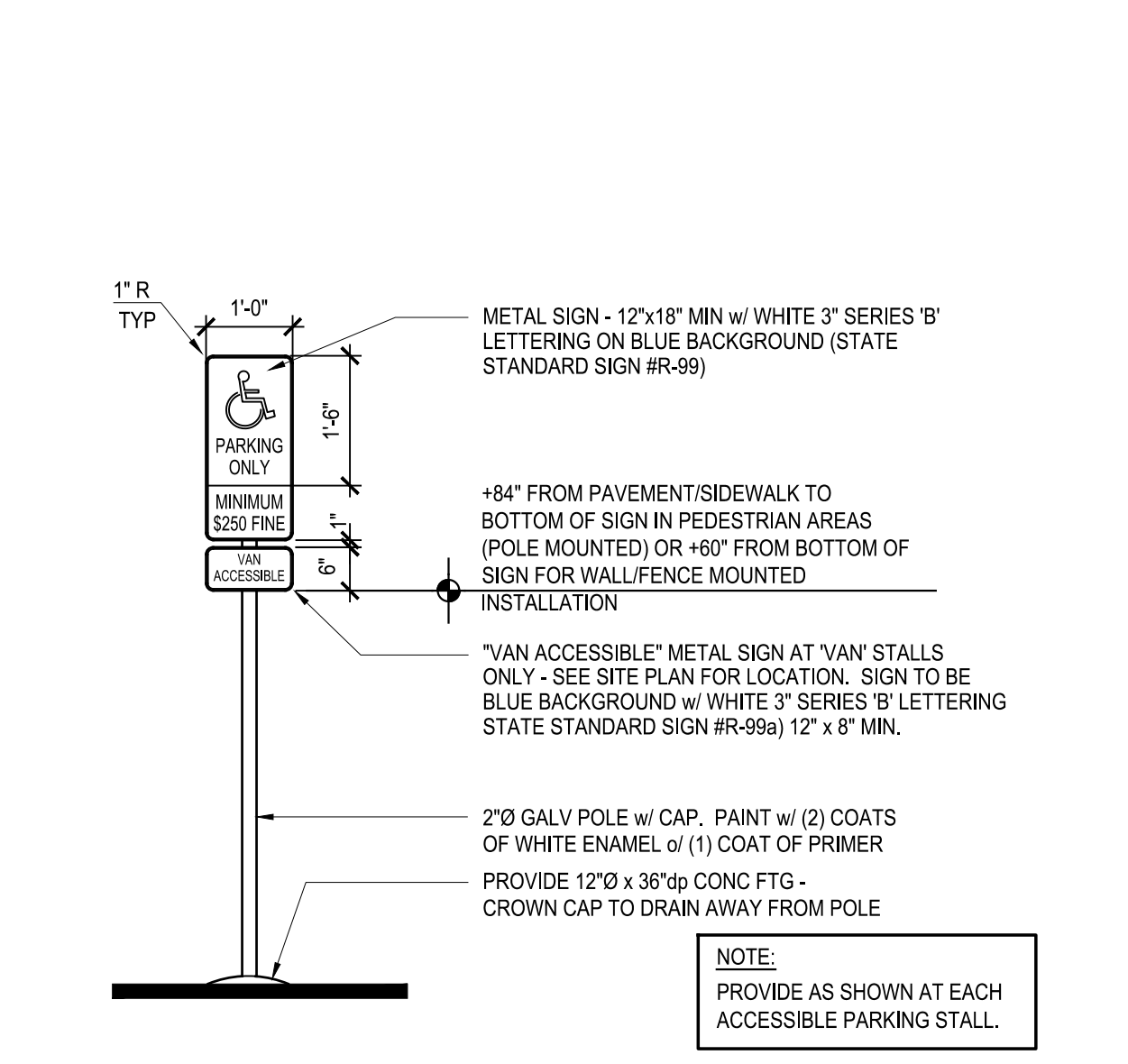
**5 TRAFFIC ARROW**  
SCALE: 1\"/>



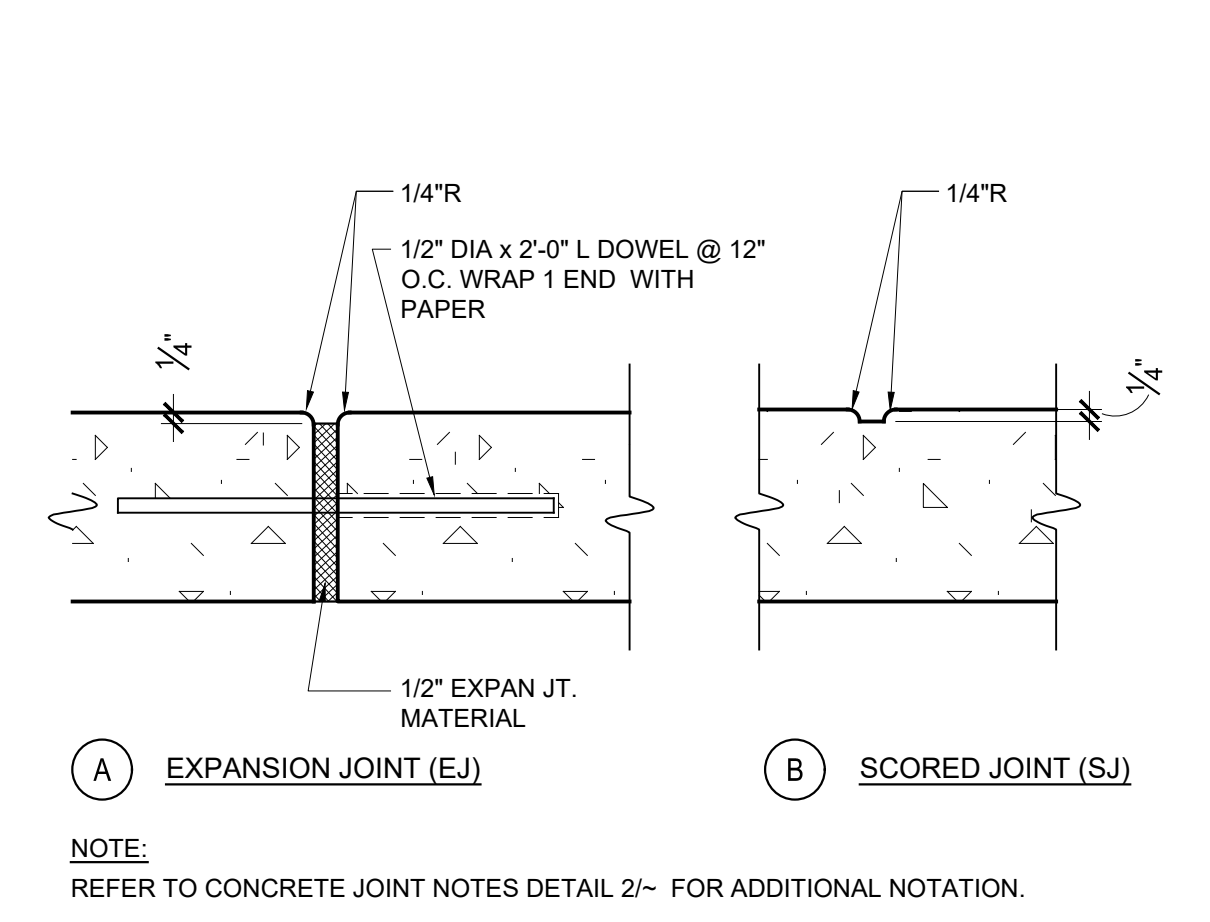
**6 BICYCLE RACK**  
SCALE: 3\"/>



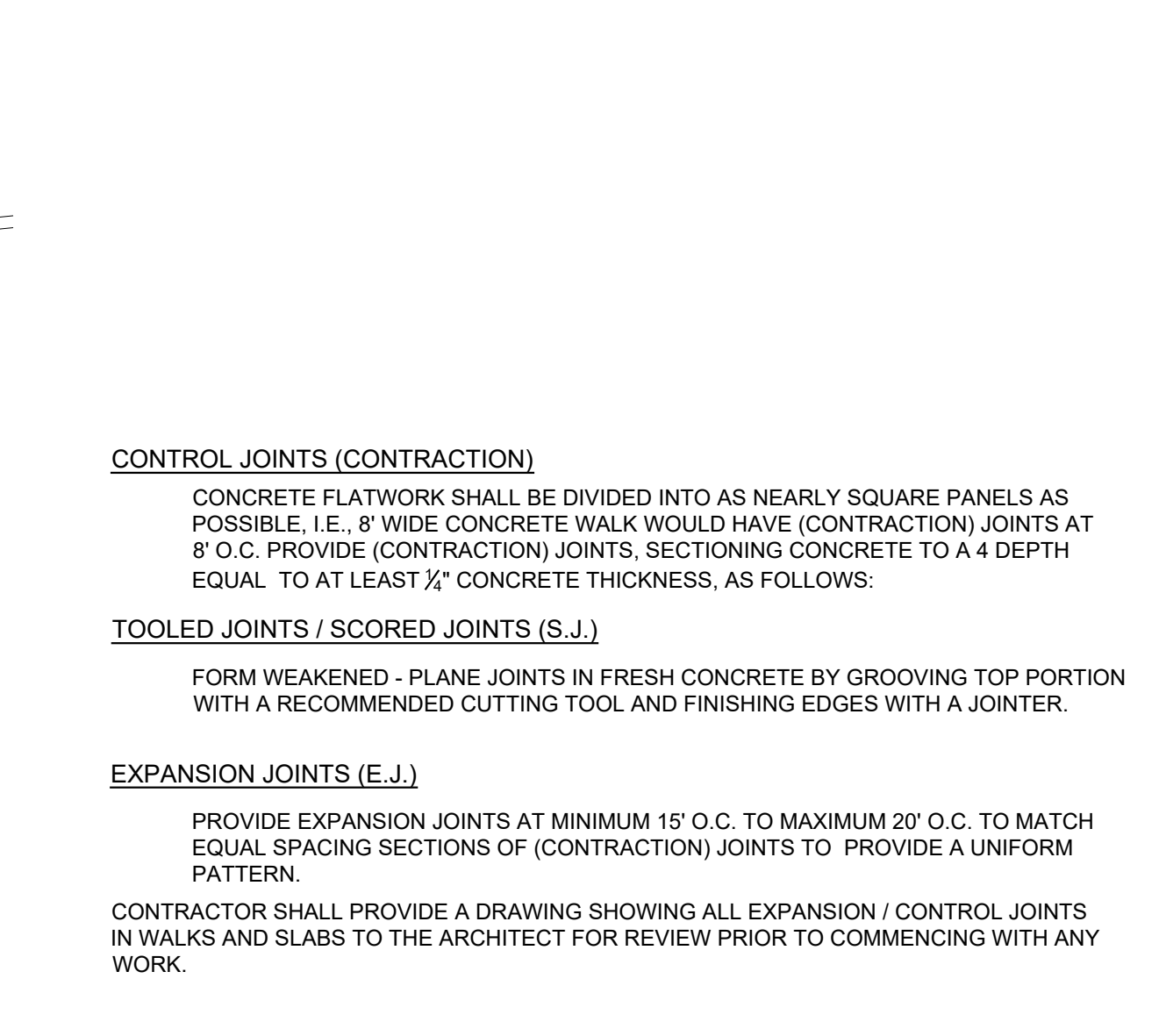
**7 TOW - AWAY SIGN (DISABLED ENTRY)**  
SCALE: 1\"/>



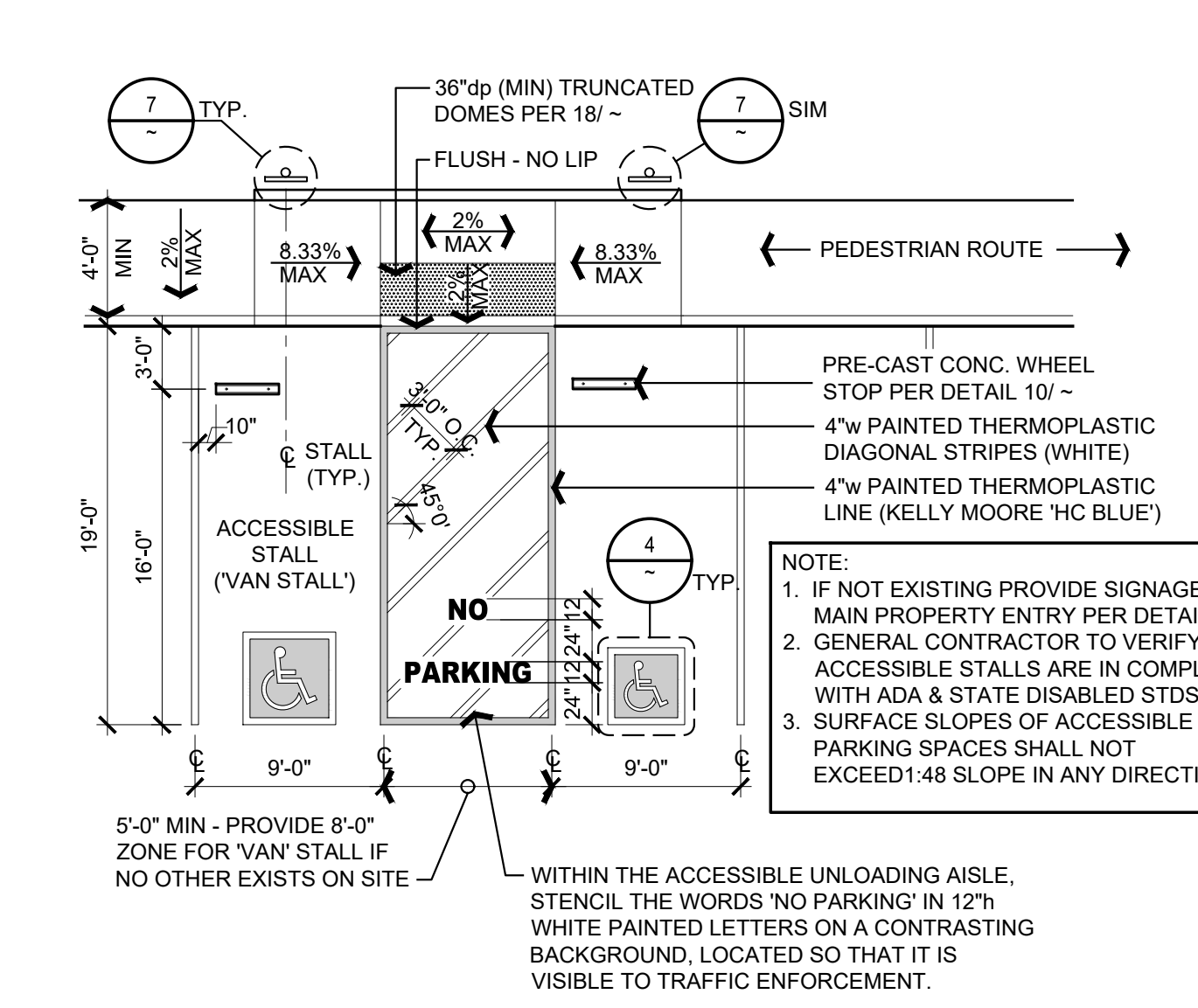
**8 ACCESSIBLE STALL SIGN**  
SCALE: 1\"/>



**1 CONCRETE JOINTS**  
SCALE: 3\"/>



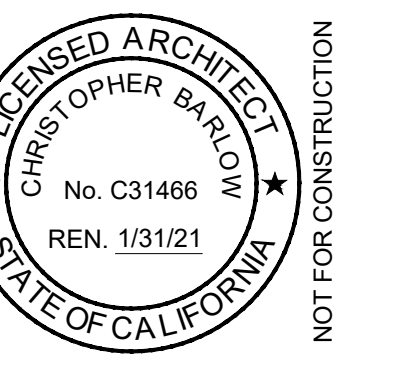
**2 CONCRETE JOINT NOTES**  
SCALE: NONE



**3 ACCESSIBLE PARKING STALL**  
SCALE: 1\"/>



**4 ACCESSIBILITY SYMBOL**  
SCALE: NO SCALE



**MID-PEN HOUSING**  
**1500 CAPITOLA ROAD MIXED-USE**  
MID-PEN HOUSING CORP.  
WATSONVILLE DEVELOPMENT OFFICE  
275 MAIN STREET, SUITE 204, WATSONVILLE, CA 95076  
A.P.N.: 026-741-12, 026-741-13, 026-741-14, 026-741-15

JOB NO. **17088**

PRINT DATE: \_\_\_\_\_

PLOT DATE: 7.26.2019

DRAWN BY: \_\_\_\_\_

CHECKED BY: \_\_\_\_\_

SET ISSUED: \_\_\_\_\_

11/06/2018	COUNTY APPLICATION PACKAGE
02/15/2019	COUNTY RESUBMITTAL APPLICATION PACKAGE
05/13/2019	COUNTY RESUBMITTAL APPLICATION PACKAGE

SHEET NAME: **SITE DETAILS**

SHEET NO.: \_\_\_\_\_

**A110**

FILE NAME: 17088-A110





PLAN TRUE NORTH  
**1 BUILDINGS 1 & 2 FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

**KEY NOTES**

**WR&D**  
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 MONTEREY, CALIFORNIA 93940  
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**AREA CALCULATION**

OFFICE - 3,849 S.F. (3,732 S.F. LEASEABLE)  
 RETAIL - 1,266 S.F. (1,200 S.F. LEASEABLE)  
 CLINIC - 4,465 S.F. (4,278 S.F. LEASEABLE)

BUILDING #1 - SANTA CRUZ COMMUNITY HEALTH	
FIRST FLOOR	
MEDICAL OFFICE	3,849 SF
RETAIL - PHARMACY	1,266 SF
MEDICAL CLINIC	4,465 SF
<b>TOTAL</b>	<b>9,580 SF</b>
SECOND FLOOR	
MEDICAL OFFICE	2,776 SF
MEDICAL CLINIC	6,842 SF
<b>TOTAL</b>	<b>9,618 SF</b>
<b>BUILDING TOTAL</b>	<b>19,297 SF</b>
BUILDING #2 - DIENTES	
FIRST FLOOR	
MEDICAL OFFICE	4,997 SF
CIRCULATION & VERT. CIRC.	157 SF
STORAGE AREAS	335 SF
MECHANICAL ROOM	68 SF
<b>TOTAL</b>	<b>5,557 SF</b>
SECOND FLOOR	
BUSINESS OFFICE	5,261 SF
CIRCULATION & VERT. CIRC.	157 SF
STORAGE AREAS	73 SF
<b>TOTAL</b>	<b>5,491 SF</b>
<b>BUILDING TOTAL</b>	<b>11,048 SF</b>

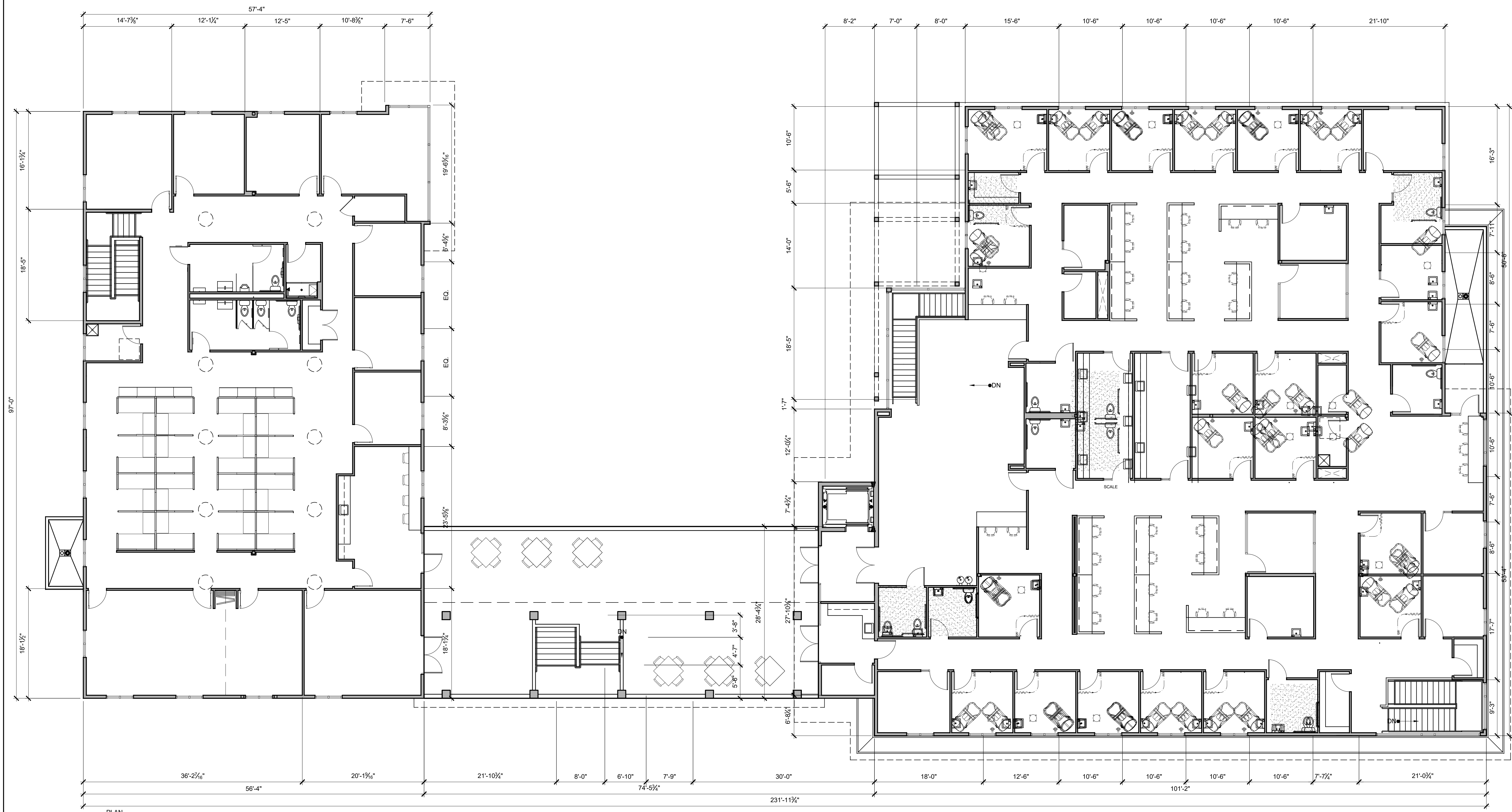
JOB NO.  
**17088**  
 PRINT DATE:  
 PLOT DATE: 5.10.2019  
 DRAWN BY: VV  
 CHECKED BY: HR  
 SET ISSUED:  
 11/06/2018 COUNTY APPLICATION PACKAGE  
 02/15/2019 COUNTY RESUBMITTAL APPLICATION PACKAGE  
 05/13/2019 COUNTY RESUBMITTAL APPLICATION PACKAGE

SHEET NAME:  
**BUILDING 1 & 2 FIRST FLOOR PLAN & SECTION**

SHEET NO.:  
**A201**

FILE NAME: 17088A201





PLAN TRUE NORTH  
 ① BUILDINGS 1 & 2 FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

**KEY NOTES**

**WR&D**  
**WALD RUHNKE & DOST**  
**ARCHITECTS LLP**  
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**1500 CAPITOLA ROAD MIXED-USE**  
 MID-PEN HOUSING CORP.  
 WATSONVILLE DEVELOPMENT OFFICE  
 275 MAIN STREET, SUITE 204, WATSONVILLE, CA 95076  
 A.P.N.: 026-741-12, 026-741-13, 026-741-14, 026-741-15

**AREA CALCULATION**

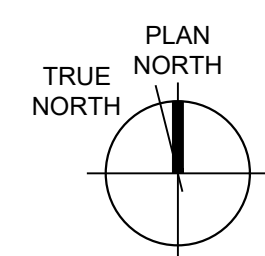
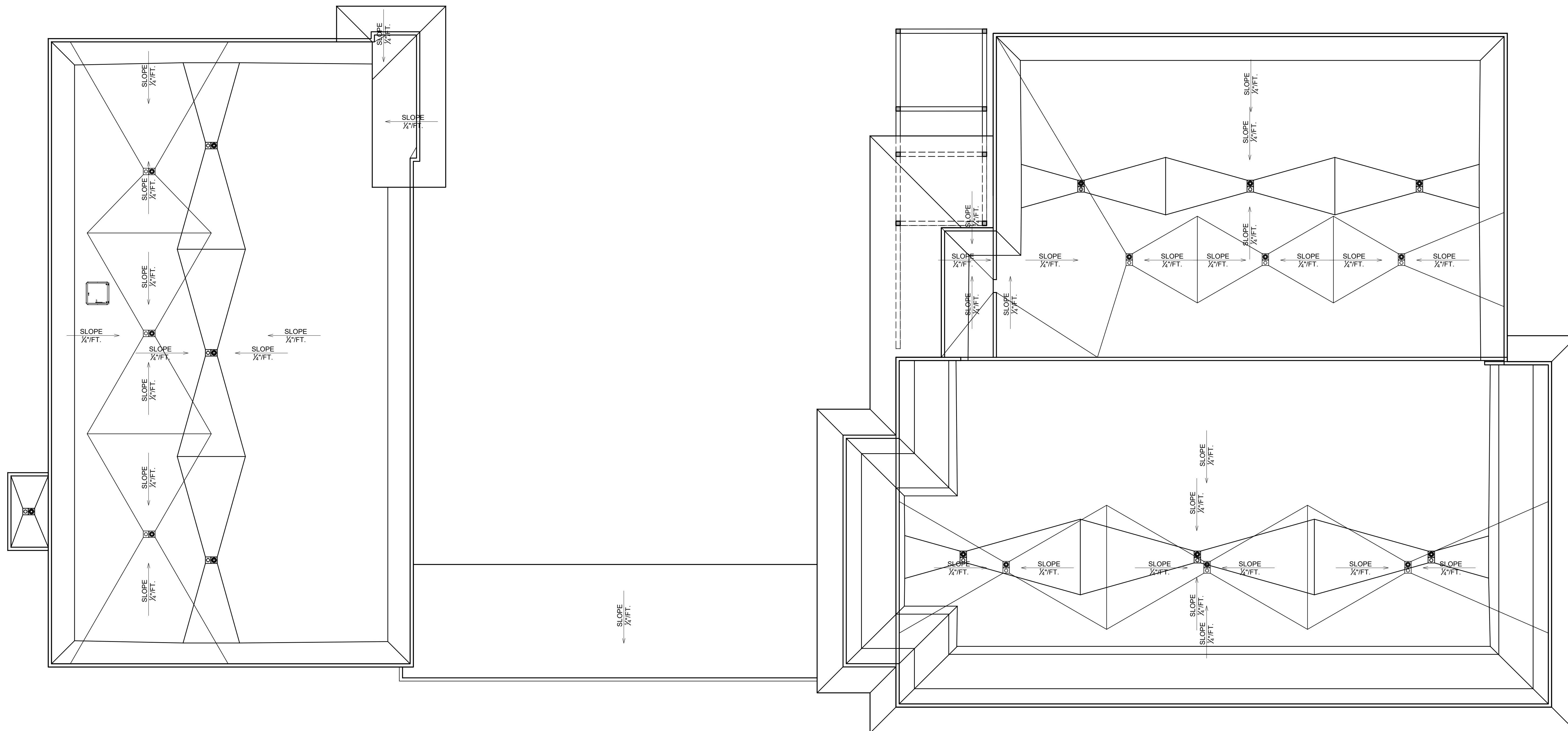
BUILDING #1 - SANTA CRUZ COMMUNITY HEALTH	
FIRST FLOOR	
MEDICAL OFFICE	3,849 SF
RETAIL - PHARMACY	1,266 SF
MEDICAL CLINIC	4,465 SF
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FIRST FLOOR	
MEDICAL OFFICE	4,997 SF
CIRCULATION & VERT. CIRC.	157 SF
STORAGE AREAS	335 SF
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STORAGE AREAS	73 SF
<b>TOTAL</b>	<b>5,491 SF</b>
<b>BUILDING TOTAL</b>	<b>11,048 SF</b>

JOB NO.  
**17088**  
 PRINT DATE:  
 7.26.2019  
 DRAWN BY:  
 VV  
 CHECKED BY:  
 HR  
 SET ISSUED:  
 11/06/2018 COUNTY APPLICATION PACKAGE  
 02/15/2019 COUNTY RESUBMITTAL APPLICATION PACKAGE  
 05/13/2019 COUNTY RESUBMITTAL APPLICATION PACKAGE

SHEET NAME:  
**BUILDING 1 & 2**  
**SECOND FLOOR**  
**PLAN**

SHEET NO.:  
**A202**  
 FILE NAME: 17088A202





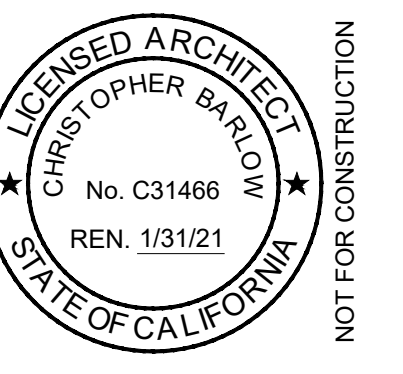
**1 BUILDINGS 1 & 2 FLOOR PLAN**

SCALE: 1/8" = 1'-0"

**KEY NOTES**

**WR&D**  
**WALD RUHNKE & DOST**  
**ARCHITECTS LLP**  
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**MID-PEN HOUSING**  
**1500 CAPITOLA ROAD MIXED-USE**  
 MID-PEN HOUSING CORP.  
 WATSONVILLE DEVELOPMENT OFFICE  
 275 MAIN STREET, SUITE 204, WATSONVILLE, CA 95076  
 A.P.N.: 026-741-12, 026-741-13, 026-741-14, 026-741-15

**AREA CALCULATION**

BUILDING #1 - SANTA CRUZ COMMUNITY HEALTH	
FIRST FLOOR	
MEDICAL OFFICE	3,849 SF
RETAIL - PHARMACY	1,266 SF
MEDICAL CLINIC	4,465 SF
<b>TOTAL</b>	<b>9,580 SF</b>
SECOND FLOOR	
MEDICAL OFFICE	2,776 SF
MEDICAL CLINIC	6,842 SF
<b>TOTAL</b>	<b>9,618 SF</b>
<b>BUILDING TOTAL</b>	<b>19,298 SF</b>
BUILDING #2 - DIENTES	
FIRST FLOOR	
MEDICAL OFFICE	4,997 SF
CIRCULATION & VERT. CIRC.	157 SF
STORAGE AREAS	335 SF
MECHANICAL ROOM	68 SF
<b>TOTAL</b>	<b>5,557 SF</b>
SECOND FLOOR	
BUSINESS OFFICE	5,261 SF
CIRCULATION & VERT. CIRC.	157 SF
STORAGE AREAS	73 SF
<b>TOTAL</b>	<b>5,491 SF</b>
<b>BUILDING TOTAL</b>	<b>11,048 SF</b>

JOB NO.  
**17088**  
 PRINT DATE:  
 PLOT DATE: 7.26.2019  
 DRAWN BY: VV  
 CHECKED BY: HR  
 SET ISSUED:  
 11/06/2018 COUNTY APPLICATION PACKAGE  
 02/15/2019 COUNTY RESUBMITTAL APPLICATION PACKAGE  
 05/13/2019 COUNTY RESUBMITTAL APPLICATION PACKAGE

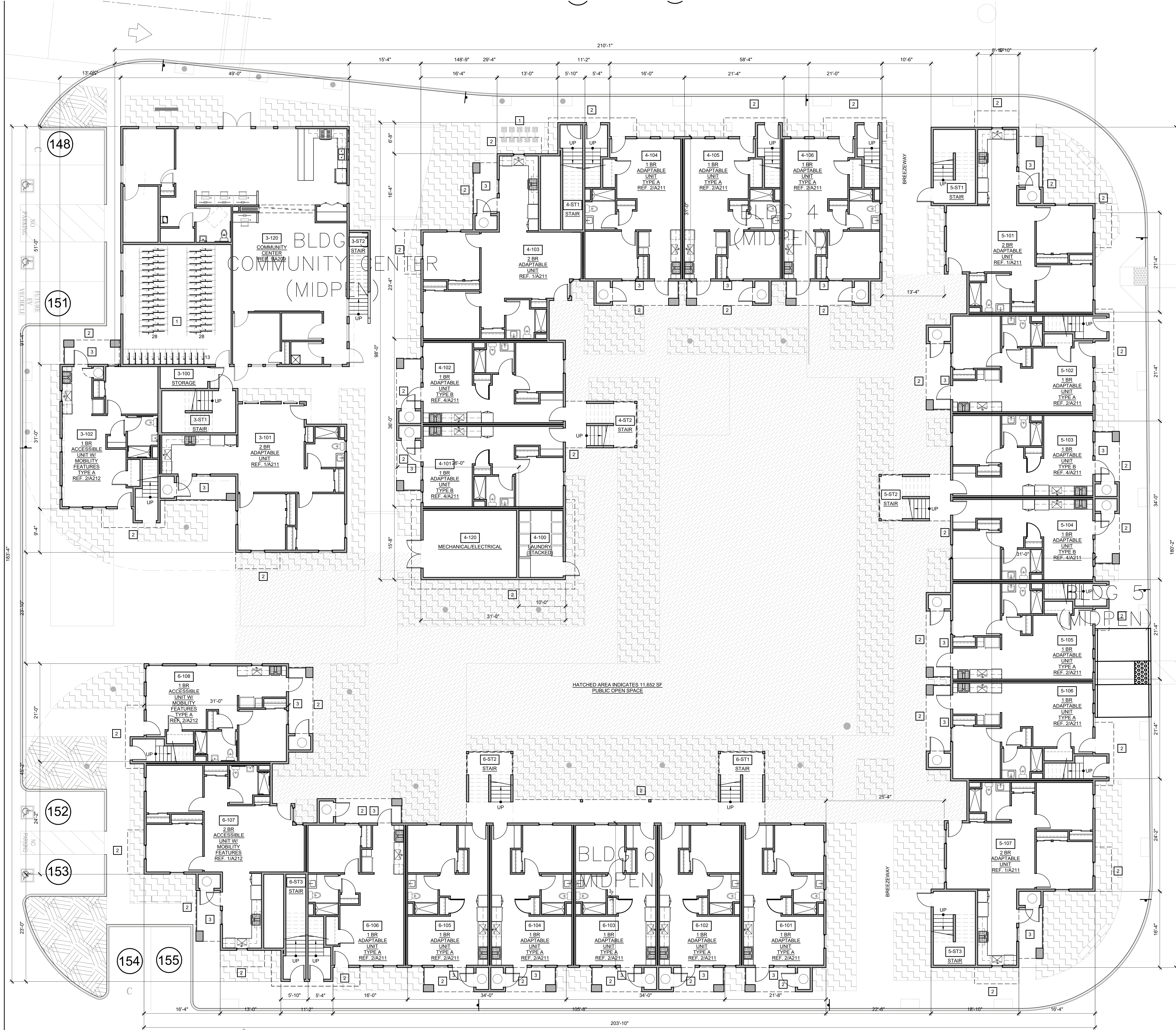
SHEET NAME:  
**BUILDING 1 & 2**  
**ROOF**  
**PLAN**

SHEET NO.:

**A203**

FILE NAME: 17088A203





PLAN TRUE NORTH  
**1** FIRST FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

**KEY NOTES**

- THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- 1 BIKE STORAGE LOCATION.
  - 2 DASHED LINE INDICATES OVERHEAD ELEMENT.
  - 3 EXTERIOR PATIO OR DECK.

**PUBLIC/ PRIVATE OPEN SPACE**

PRIVATE OPEN SPACE		OPEN SPACE REQUIRED		PUBLIC OPEN SPACE	
200 SF x 5.7 UNITS x 0.33		3762		11457	
300 SF x 5.7 UNITS x 0.67					
PRIVATE OPEN SPACE PROVIDED					
UNIT	AREA	UNIT	AREA	UNIT	AREA
1	3-101	61	30	4-204	67
2	3-102	52	31	4-205	67
3	4-101	50	32	4-206	67
4	4-102	50	33	5-201	51
5	4-103	51	34	5-202	67
6	4-104	67	35	5-203	50
7	4-105	67	36	5-204	50
8	4-106	67	37	5-205	67
9	5-101	51	38	5-206	67
10	5-102	67	39	5-207	51
11	5-103	50	40	6-201	50
12	5-104	50	41	6-202	50
13	5-105	67	42	6-203	50
14	5-106	67	43	6-204	50
15	5-107	51	44	6-205	50
16	6-101	50	45	6-206	67
17	6-102	50	46	6-207	51
18	6-103	50	47	6-208	67
19	6-104	50	48	3-301	61
20	6-105	50	49	4-301	135
21	6-106	67	50	4-303	67
22	6-107	51	51	5-301	51
23	6-108	67	52	5-303	135
24	3-201	61	53	5-307	51
25	3-202	55	54	6-301	50
26	3-221	136	55	6-302	135
27	3-222	129	56	6-304	135
28	4-201	135	57	6-307	51
29	4-203	51			
TOTAL:		3767		3767	

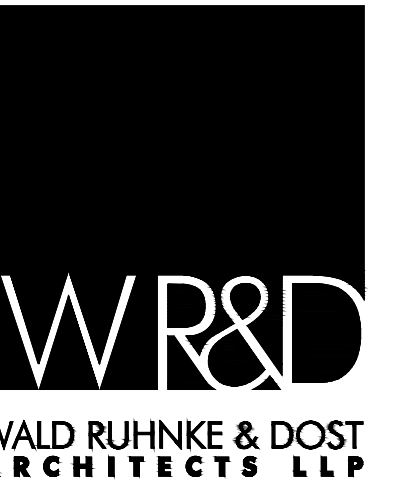
  

PUBLIC OPEN SPACE PROVIDED		TOTAL	
COURTYARD HATCHED AREA, SHEET A205	11652	TOTAL:	11652

COUNTY CODE COMPLIANCE  
 PROJECT COMPLES WITH SCCC 13.10.32(B)(5) GROUP OR PRIVATE OPEN SPACE, OR COMBINATION THEREOF, SHALL BE PROVIDED FOR EACH DWELLING AS FOLLOWS: 200 SF / UNIT OF PRIVATE OPEN SPACE OR 300 SF / UNIT OF SHARED/PUBLIC OPEN SPACE  
 PRIVATE OPEN SPACE: 3767 SF (33% OF REQUIRED PRIVATE OPEN SPACE)  
 SHARED/PUBLIC OPEN SPACE: 11652 SF (66% OF REQUIRED SHARED OPEN SPACE)  
 TOTAL OPEN SPACE: 15429 SF (100% OF REQUIRED PRIVATE / SHARED OPEN SPACE)

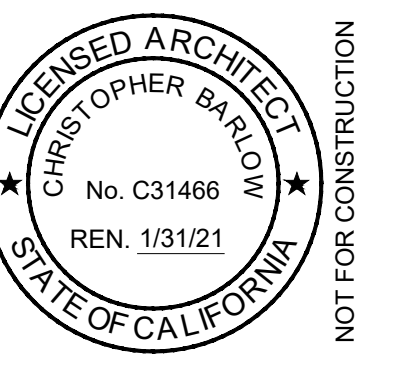
**AREA CALCULATIONS**

FLOOR	ROOM NO.	DESCRIPTION	BLDG. AREA (sf)
FIRST FLOOR	3-100	STORAGE	57
	3-101	2 BEDROOM UNIT	893
	3-102	1 BEDROOM UNIT	610
	3-120	COMMUNITY ROOM	2624
	4-100	LAUNDRY	157
	4-101	1 BEDROOM UNIT	575
	4-102	1 BEDROOM UNIT	575
	4-103	2 BEDROOM UNIT	917
	4-104	1 BEDROOM UNIT	629
	4-105	1 BEDROOM UNIT	630
	4-106	1 BEDROOM UNIT	632
	4-120	MECHANICAL / ELECTRICAL	317
	5-101	2 BEDROOM UNIT	891
5-102	1 BEDROOM UNIT	630	
5-103	1 BEDROOM UNIT	575	
5-104	1 BEDROOM UNIT	575	
5-105	1 BEDROOM UNIT	629	
5-106	1 BEDROOM UNIT	630	
5-107	2 BEDROOM UNIT	891	
6-101	1 BEDROOM UNIT	579	
6-102	1 BEDROOM UNIT	575	
6-103	1 BEDROOM UNIT	575	
6-104	1 BEDROOM UNIT	575	
6-105	1 BEDROOM UNIT	575	
6-106	1 BEDROOM UNIT	629	
6-107	2 BEDROOM UNIT	917	
6-108	1 BEDROOM UNIT	633	
VERTICAL CIRCULATION			2101
<b>TOTAL</b>			<b>20495</b>
SECOND FLOOR	3-201	2 BEDROOM UNIT	927
	3-202	3 BEDROOM TOWNHOUSE	862
	3-221	3 BEDROOM MANAGER'S UNIT	1136
	3-222	3 BEDROOM UNIT	1096
	4-201	3 BEDROOM UNIT	1119
	4-203	2 BEDROOM UNIT	983
	4-204	3 BEDROOM TOWNHOUSE	879
	4-205	3 BEDROOM TOWNHOUSE	681
	4-206	3 BEDROOM TOWNHOUSE	684
	5-201	2 BEDROOM UNIT	957
	5-202	3 BEDROOM TOWNHOUSE	862
	5-203	1 BEDROOM UNIT	575
	5-204	1 BEDROOM UNIT	575
5-205	3 BEDROOM TOWNHOUSE	861	
5-206	3 BEDROOM TOWNHOUSE	862	
5-207	2 BEDROOM UNIT	957	
6-200	EXTERIOR WALKWAY		
6-201	1 BEDROOM UNIT	579	
6-202	1 BEDROOM UNIT	575	
6-203	1 BEDROOM UNIT	575	
6-204	1 BEDROOM UNIT	575	
6-205	1 BEDROOM UNIT	575	
6-206	3 BEDROOM TOWNHOUSE	679	
6-207	2 BEDROOM UNIT	863	
6-208	3 BEDROOM TOWNHOUSE	684	
VERTICAL CIRCULATION			1500
<b>TOTAL</b>			<b>19801</b>
THIRD FLOOR	4-301	2 BEDROOM UNIT	927
	3-202	3-202 TOWNHOUSE SECOND FLOOR	662
	4-301	3 BEDROOM UNIT	1119
	4-303	2 BEDROOM UNIT	983
	4-204	4-204 TOWNHOUSE SECOND FLOOR	659
	4-205	4-205 TOWNHOUSE SECOND FLOOR	661
	4-206	4-206 TOWNHOUSE SECOND FLOOR	664
	5-301	2 BEDROOM UNIT	957
	5-202	5-202 TOWNHOUSE SECOND FLOOR	862
	5-303	3 BEDROOM UNIT	1116
	5-205	5-205 TOWNHOUSE SECOND FLOOR	861
	5-206	5-206 TOWNHOUSE SECOND FLOOR	862
	5-207	2 BEDROOM UNIT	957
6-300	EXTERIOR WALKWAY		
6-301	1 BEDROOM UNIT	569	
6-302	3 BEDROOM UNIT	1116	
6-304	3 BEDROOM UNIT	1116	
6-206	6-206 TOWNHOUSE SECOND FLOOR	659	
6-307	2 BEDROOM UNIT	863	
6-208	6-208 TOWNHOUSE SECOND FLOOR	664	
VERTICAL CIRCULATION			1415
<b>TOTAL</b>			<b>17212</b>
<b>TOTAL AREAS</b>			<b>57508</b>



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**MID-PEN HOUSING**  
**1500 CAPITOLA ROAD MIXED-USE**  
 MID-PEN HOUSING CORP.  
 WATSONVILLE DEVELOPMENT OFFICE  
 275 MAIN STREET, SUITE 204, WATSONVILLE, CA 95076  
 A.P.N.: 026-741-12, 026-741-13, 026-741-14, 026-741-15

JOB NO.  
**17088**  
 PRINT DATE: 7.26.2019  
 DRAWN BY: VV  
 CHECKED BY: HR  
 SET ISSUED:  
 11/06/2018 COUNTY APPLICATION  
 02/15/2019 COUNTY RESUBMITTAL APPLICATION PACKAGE  
 05/13/2019 COUNTY RESUBMITTAL APPLICATION PACKAGE  
 SHEET NAME:  
**RESIDENTIAL FIRST FLOOR PLAN**  
 SHEET NO.:  
**A205**  
 FILE NAME: 17088-A205





PLAN TRUE NORTH  
 1 SECOND FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

### KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1 BIKE STORAGE LOCATION.
- 2 DASHED LINE INDICATES OVERHEAD ELEMENT.
- 3 EXTERIOR PATIO OR DECK.

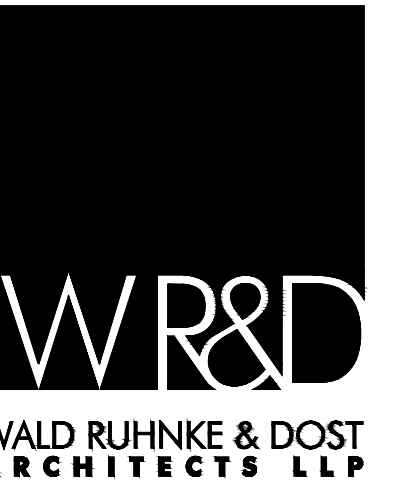
### PUBLIC/ PRIVATE OPEN SPACE

PRIVATE OPEN SPACE		PUBLIC OPEN SPACE	
PRIVATE OPEN SPACE	200' x 57' UNITS x 0.33	3762	
PUBLIC OPEN SPACE	300' x 57' UNITS x 0.67	11457	
PRIVATE OPEN SPACE PROVIDED			
UNIT	AREA	UNIT	AREA
1	3-101	30	4-204
2	3-102	31	4-205
3	4-101	32	4-206
4	4-102	33	5-201
5	4-103	34	5-202
6	4-104	35	5-203
7	4-105	36	5-204
8	4-106	37	5-205
9	5-101	38	5-206
10	5-102	39	5-207
11	5-103	40	6-201
12	5-104	41	6-202
13	5-105	42	6-203
14	5-106	43	6-204
15	5-107	44	6-205
16	6-101	45	6-206
17	6-102	46	6-207
18	6-103	47	6-208
19	6-104	48	3-301
20	6-105	49	4-301
21	6-106	50	4-302
22	6-107	51	5-301
23	6-108	52	5-302
24	3-201	53	3-302
25	3-202	54	6-301
26	3-221	55	6-302
27	3-222	56	6-304
28	4-201	57	6-307
29	4-203	58	6-307
		<b>TOTAL</b>	<b>3767</b>
PUBLIC OPEN SPACE PROVIDED			
COURTYARD HATCHED AREA, SHEET A205	TOTAL	11652	

COUNTY CODE COMPLIANCE  
 PROJECT COMPLIES WITH SCCC 13.10.32(B) - GROUP OR PRIVATE OPEN SPACE, OR COMBINATION THEREOF, SHALL BE PROVIDED FOR EACH DWELLING AS FOLLOWS: 200 SF / UNIT OF PRIVATE OPEN SPACE OR 300 SF / UNIT OF SHARED/PUBLIC OPEN SPACE.  
 PRIVATE OPEN SPACE: 3767 SF (33% OF REQUIRED PRIVATE OPEN SPACE)  
 SHARED/PUBLIC OPEN SPACE: 11652 SF (66% OF REQUIRED SHARED OPEN SPACE)  
 TOTAL OPEN SPACE: 15419 SF (101% OF REQUIRED PRIVATE / SHARED OPEN SPACE)

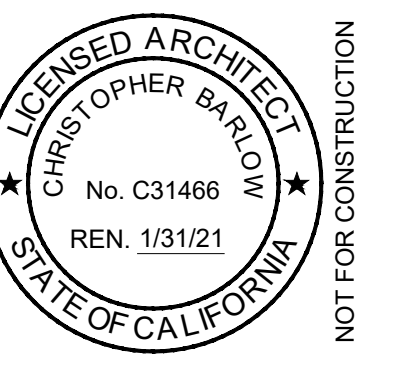
### AREA CALCULATIONS

FLOOR	ROOM NO.	DESCRIPTION	BLDG. AREA (sf)
FIRST FLOOR	3-100	STORAGE	57
	3-101	2 BEDROOM UNIT	893
	3-102	1 BEDROOM UNIT	610
	3-103	COMMUNITY ROOM	2624
	4-100	LAUNDRY	157
	4-101	1 BEDROOM UNIT	575
	4-102	1 BEDROOM UNIT	575
	4-103	2 BEDROOM UNIT	917
	4-104	1 BEDROOM UNIT	629
	4-105	1 BEDROOM UNIT	630
	4-106	1 BEDROOM UNIT	632
	4-120	MECHANICAL / ELECTRICAL	317
	5-101	2 BEDROOM UNIT	891
	5-102	1 BEDROOM UNIT	630
	5-103	1 BEDROOM UNIT	575
5-104	1 BEDROOM UNIT	575	
5-105	1 BEDROOM UNIT	629	
5-106	1 BEDROOM UNIT	630	
5-107	2 BEDROOM UNIT	891	
6-101	1 BEDROOM UNIT	579	
6-102	1 BEDROOM UNIT	575	
6-103	1 BEDROOM UNIT	575	
6-104	1 BEDROOM UNIT	575	
6-105	1 BEDROOM UNIT	575	
6-106	1 BEDROOM UNIT	629	
6-107	2 BEDROOM UNIT	917	
6-108	1 BEDROOM UNIT	633	
VERTICAL CIRCULATION			2101
<b>TOTAL</b>			<b>20495</b>
SECOND FLOOR	3-201	2 BEDROOM UNIT	827
	3-202	3 BEDROOM TOWNHOUSE	862
	3-221	3 BEDROOM MANAGER'S UNIT	1136
	3-222	3 BEDROOM UNIT	1096
	4-201	3 BEDROOM UNIT	1119
	4-203	2 BEDROOM UNIT	983
	4-204	2 BEDROOM TOWNHOUSE	879
	4-205	3 BEDROOM TOWNHOUSE	881
	4-206	3 BEDROOM TOWNHOUSE	884
	5-201	2 BEDROOM UNIT	957
	5-202	3 BEDROOM TOWNHOUSE	882
	5-203	1 BEDROOM UNIT	575
	5-204	1 BEDROOM UNIT	575
	5-205	3 BEDROOM TOWNHOUSE	881
	5-206	3 BEDROOM TOWNHOUSE	882
5-207	2 BEDROOM UNIT	957	
6-200	EXTERIOR WALKWAY		
6-201	1 BEDROOM UNIT	579	
6-202	1 BEDROOM UNIT	575	
6-203	1 BEDROOM UNIT	575	
6-204	1 BEDROOM UNIT	575	
6-205	1 BEDROOM UNIT	575	
6-206	3 BEDROOM TOWNHOUSE	879	
6-207	2 BEDROOM UNIT	883	
6-208	3 BEDROOM TOWNHOUSE	884	
VERTICAL CIRCULATION			1500
<b>TOTAL</b>			<b>19801</b>
THIRD FLOOR	4-301	2 BEDROOM UNIT	827
	3-202	3-202 TOWNHOUSE SECOND FLOOR	662
	4-301	3 BEDROOM UNIT	1119
	4-303	2 BEDROOM UNIT	983
	4-204	4-204 TOWNHOUSE SECOND FLOOR	659
	4-205	4-205 TOWNHOUSE SECOND FLOOR	661
	4-206	4-206 TOWNHOUSE SECOND FLOOR	664
	5-301	2 BEDROOM UNIT	957
	5-202	5-202 TOWNHOUSE SECOND FLOOR	862
	5-303	3 BEDROOM UNIT	1116
	5-205	5-205 TOWNHOUSE SECOND FLOOR	861
	5-206	5-206 TOWNHOUSE SECOND FLOOR	862
	5-207	2 BEDROOM UNIT	957
	6-300	EXTERIOR WALKWAY	
	6-301	1 BEDROOM UNIT	569
6-302	3 BEDROOM UNIT	1116	
6-304	3 BEDROOM UNIT	1116	
6-206	6-206 TOWNHOUSE SECOND FLOOR	659	
6-307	2 BEDROOM UNIT	883	
6-208	6-208 TOWNHOUSE SECOND FLOOR	664	
VERTICAL CIRCULATION			1415
<b>TOTAL</b>			<b>17212</b>
<b>TOTAL AREAS</b>			<b>57508</b>



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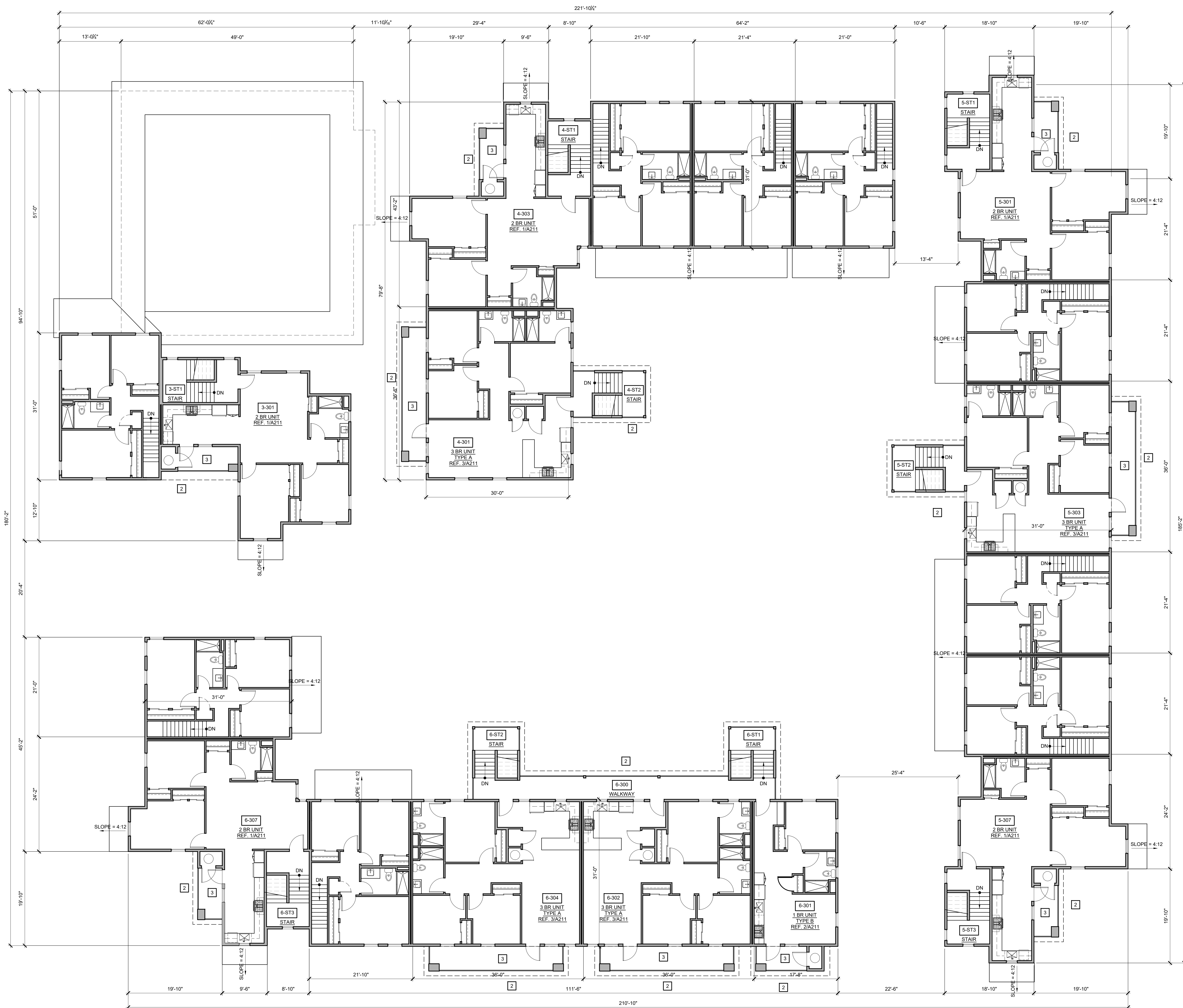


MID-PEN HOUSING  
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 MID-PEN HOUSING CORP.  
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 05/13/2019 COUNTY RESUBMITTAL APPLICATION PACKAGE

SHEET NAME:  
**SECOND FLOOR PLAN**  
 SHEET NO.:  
**A206**  
 FILE NAME: 17088-A206





PLAN NORTH  
TRUE NORTH

**1** THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"

**KEY NOTES**

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1 BIKE STORAGE LOCATION.
- 2 DASHED LINE INDICATES OVERHEAD ELEMENT.
- 3 EXTERIOR PATIO OR DECK.

**PUBLIC/ PRIVATE OPEN SPACE**

PRIVATE OPEN SPACE		PUBLIC OPEN SPACE	
UNIT	AREA	UNIT	AREA
1	3-301	61	30
2	3-102	52	31
3	4-101	50	32
4	4-102	50	33
5	4-103	51	34
6	4-104	67	35
7	4-105	67	36
8	4-106	67	37
9	5-101	51	38
10	5-102	67	39
11	5-103	50	40
12	5-104	50	41
13	5-105	67	42
14	5-106	67	43
15	5-107	51	44
16	6-101	50	45
17	6-102	50	46
18	6-103	50	47
19	6-104	50	48
20	6-105	50	49
21	6-106	67	50
22	6-107	51	51
23	6-108	67	52
24	3-201	61	53
25	3-202	55	54
26	3-221	136	55
27	3-222	129	56
28	4-203	51	57
<b>TOTAL</b>		<b>3762</b>	<b>3767</b>

PUBLIC OPEN SPACE PROVIDED	
COURTYARD HATCHED AREA, SHEET A205	TOTAL
	11652

COUNTY CODE COMPLIANCE	
PROJECT COMPLIES WITH SCCC 13.10.32(B): GROUP OR PRIVATE OPEN SPACE, OR COMBINATION THEREOF, SHALL BE PROVIDED FOR EACH DWELLING AS FOLLOWS: 200 SF / UNIT OF PRIVATE OPEN SPACE OR 300 SF / UNIT OF SHARED/PUBLIC OPEN SPACE	REQUIRED
PRIVATE OPEN SPACE: 3762 SF (33% OF REQUIRED PRIVATE OPEN SPACE)	11652
SHARED/PUBLIC OPEN SPACE: 11652 SF (100% OF REQUIRED SHARED OPEN SPACE)	11652
<b>TOTAL OPEN SPACE: 15414 SF (100% OF REQUIRED PRIVATE / SHARED OPEN SPACE)</b>	<b>11652</b>

**AREA CALCULATIONS**

FIRST FLOOR	ROOM NO.	DESCRIPTION	BLDG. AREA (sf)
	3-100	STORAGE	57
	3-101	2 BEDROOM UNIT	893
	3-102	1 BEDROOM UNIT	610
	3-103	COMMUNITY ROOM	2624
	4-100	LAUNDRY	157
	4-101	1 BEDROOM UNIT	575
	4-102	1 BEDROOM UNIT	575
	4-103	2 BEDROOM UNIT	917
	4-104	1 BEDROOM UNIT	629
	4-105	1 BEDROOM UNIT	630
	4-106	1 BEDROOM UNIT	632
	4-120	MECHANICAL / ELECTRICAL	317
	5-101	2 BEDROOM UNIT	891
	5-102	1 BEDROOM UNIT	630
	5-103	1 BEDROOM UNIT	575
	5-104	1 BEDROOM UNIT	575
	5-105	1 BEDROOM UNIT	629
	5-106	1 BEDROOM UNIT	630
	5-107	2 BEDROOM UNIT	891
	6-101	1 BEDROOM UNIT	579
	6-102	1 BEDROOM UNIT	575
	6-103	1 BEDROOM UNIT	575
	6-104	1 BEDROOM UNIT	575
	6-105	1 BEDROOM UNIT	575
	6-106	1 BEDROOM UNIT	629
	6-107	2 BEDROOM UNIT	917
	6-108	1 BEDROOM UNIT	633
	VERTICAL CIRCULATION		2101
<b>TOTAL</b>			<b>20495</b>

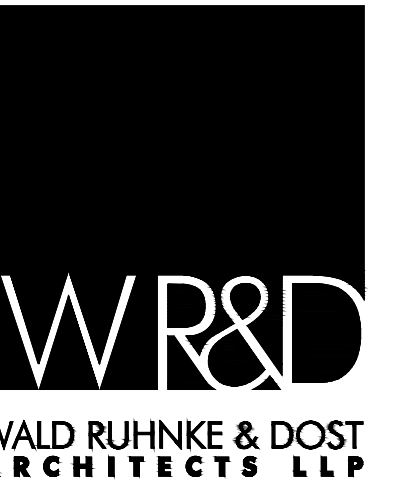
SECOND FLOOR	ROOM NO.	DESCRIPTION	BLDG. AREA (sf)
	3-201	2 BEDROOM UNIT	827
	3-202	3 BEDROOM TOWNHOUSE	862
	3-221	3 BEDROOM MANAGER'S UNIT	1136
	3-222	3 BEDROOM UNIT	1096
	4-201	3 BEDROOM UNIT	1119
	4-203	2 BEDROOM UNIT	983
	4-204	3 BEDROOM TOWNHOUSE	879
	4-205	3 BEDROOM TOWNHOUSE	681
	4-206	3 BEDROOM TOWNHOUSE	684
	5-201	2 BEDROOM UNIT	957
	5-202	3 BEDROOM TOWNHOUSE	882
	5-203	1 BEDROOM UNIT	575
	5-204	1 BEDROOM UNIT	575
	5-205	3 BEDROOM TOWNHOUSE	881
	5-206	3 BEDROOM TOWNHOUSE	882
	5-207	2 BEDROOM UNIT	957
	6-200	EXTERIOR WALKWAY	
	6-201	1 BEDROOM UNIT	579
	6-202	1 BEDROOM UNIT	575
	6-203	1 BEDROOM UNIT	575
	6-204	1 BEDROOM UNIT	575
	6-205	1 BEDROOM UNIT	575
	6-206	3 BEDROOM TOWNHOUSE	679
	6-207	2 BEDROOM UNIT	883
	6-208	3 BEDROOM TOWNHOUSE	684
	VERTICAL CIRCULATION		1500
<b>TOTAL</b>			<b>19801</b>

THIRD FLOOR	ROOM NO.	DESCRIPTION	BLDG. AREA (sf)
	3-301	2 BEDROOM UNIT	927
	3-302	3-202 TOWNHOUSE SECOND FLOOR	662
	4-301	3 BEDROOM UNIT	1119
	4-303	2 BEDROOM UNIT	983
	4-304	4-204 TOWNHOUSE SECOND FLOOR	659
	4-305	4-205 TOWNHOUSE SECOND FLOOR	661
	4-306	4-206 TOWNHOUSE SECOND FLOOR	664
	5-301	2 BEDROOM UNIT	957
	5-302	5-202 TOWNHOUSE SECOND FLOOR	862
	5-303	3 BEDROOM UNIT	1116
	5-304	5-205 TOWNHOUSE SECOND FLOOR	661
	5-305	5-206 TOWNHOUSE SECOND FLOOR	662
	5-307	2 BEDROOM UNIT	957
	6-300	EXTERIOR WALKWAY	
	6-301	1 BEDROOM UNIT	569
	6-302	3 BEDROOM UNIT	1116
	6-304	3 BEDROOM UNIT	1116
	6-306	6-206 TOWNHOUSE SECOND FLOOR	659
	6-307	2 BEDROOM UNIT	983
	6-308	2 BEDROOM UNIT	664
	VERTICAL CIRCULATION		1415
<b>TOTAL</b>			<b>17212</b>

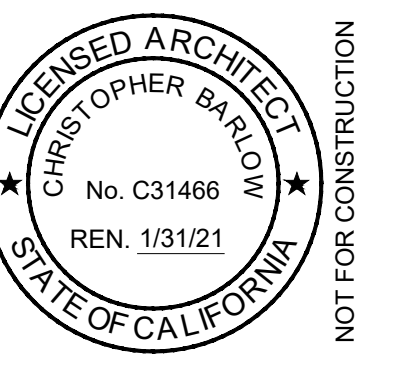
  

TOTAL AREAS	57508
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WALD RUHNKE & DOST  
ARCHITECTS LLP  
2340 GARDEN ROAD, SUITE 100  
MONTEREY, CALIFORNIA 93940  
PHONE: 831.649.4642  
FAX: 831.649.3530  
WWW.WRDARCH.COM

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**MID-PEN HOUSING  
1500 CAPITOLA ROAD MIXED-USE**

MID-PEN HOUSING CORP.  
WATSONVILLE DEVELOPMENT OFFICE  
275 MAIN STREET, SUITE 204, WATSONVILLE, CA 95076  
A.P.N.: 026-741-12, 026-741-13, 026-741-14, 026-741-15

JOB NO.  
**17088**

PRINT DATE:  
7.26.2019

PLOT DATE:  
7.26.2019

DRAWN BY:  
VV

CHECKED BY:  
HR

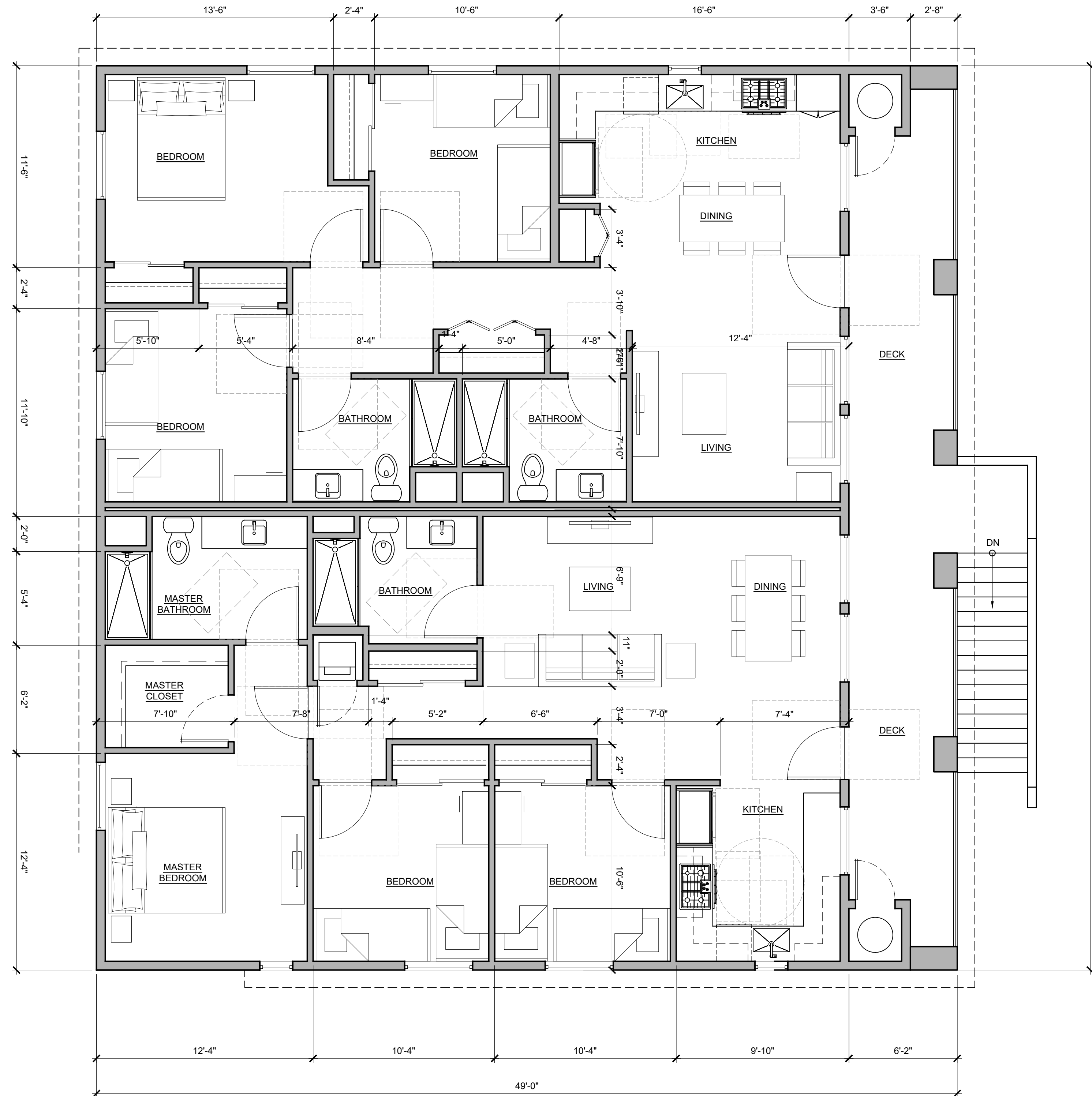
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11/06/2018 COUNTY APPLICATION PACKAGE  
02/15/2019 COUNTY RESUBMITTAL APPLICATION PACKAGE  
05/13/2019 COUNTY RESUBMITTAL APPLICATION PACKAGE

SHEET NAME:  
**THIRD FLOOR PLAN**

SHEET NO.:  
**A207**

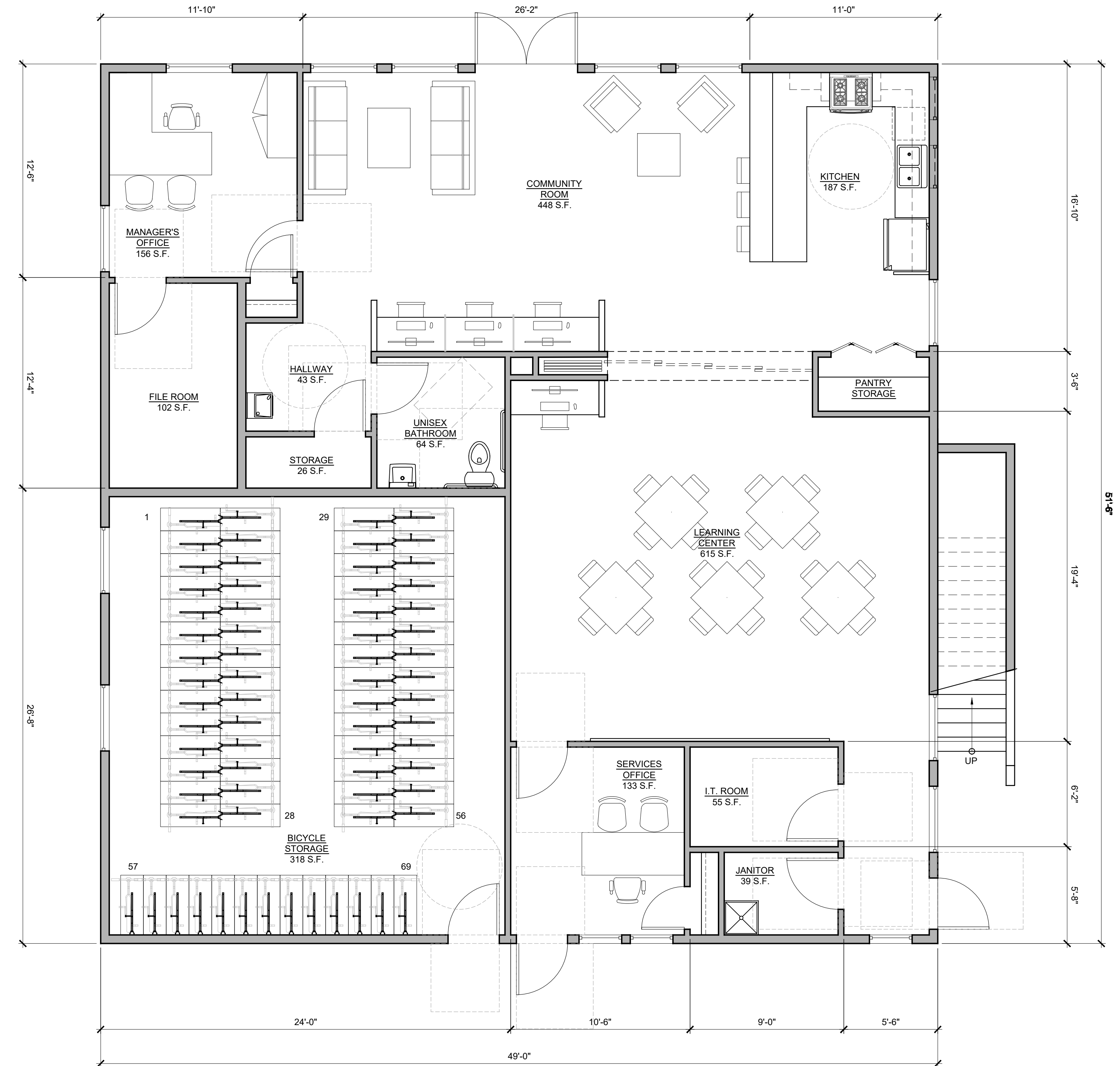
FILE NAME:  
17088-A207





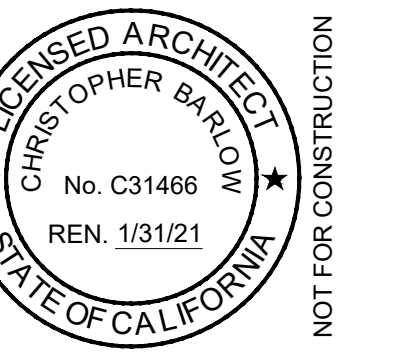
PLAN NORTH  
TRUE NORTH

② SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



PLAN NORTH  
TRUE NORTH

① FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



MID-PEN HOUSING  
1500 CAPITOLA ROAD MIXED-USE

MID-PEN HOUSING CORP.  
WATSONVILLE DEVELOPMENT OFFICE  
275 MAIN STREET, SUITE 204, WATSONVILLE, CA 95076  
A.P.N.: 026-741-12, 026-741-13, 026-741-14, 026-741-15

JOB NO.

17088

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05/13/2019 COUNTY RESUBMITTAL APPLICATION PACKAGE

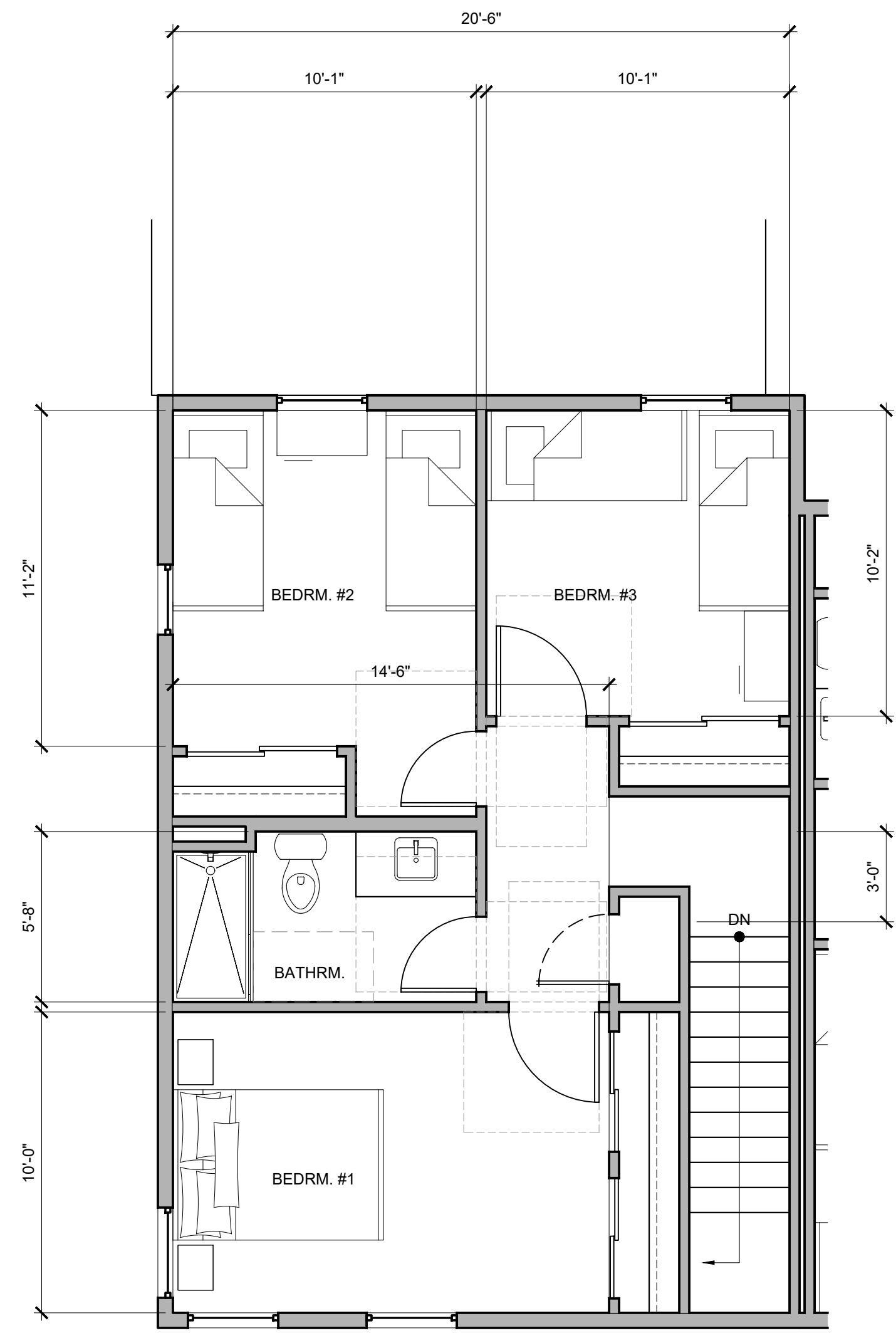
SHEET NAME:  
COMMUNITY RM./  
MANAGER UNIT  
FLOOR PLANS

SHEET NO.:

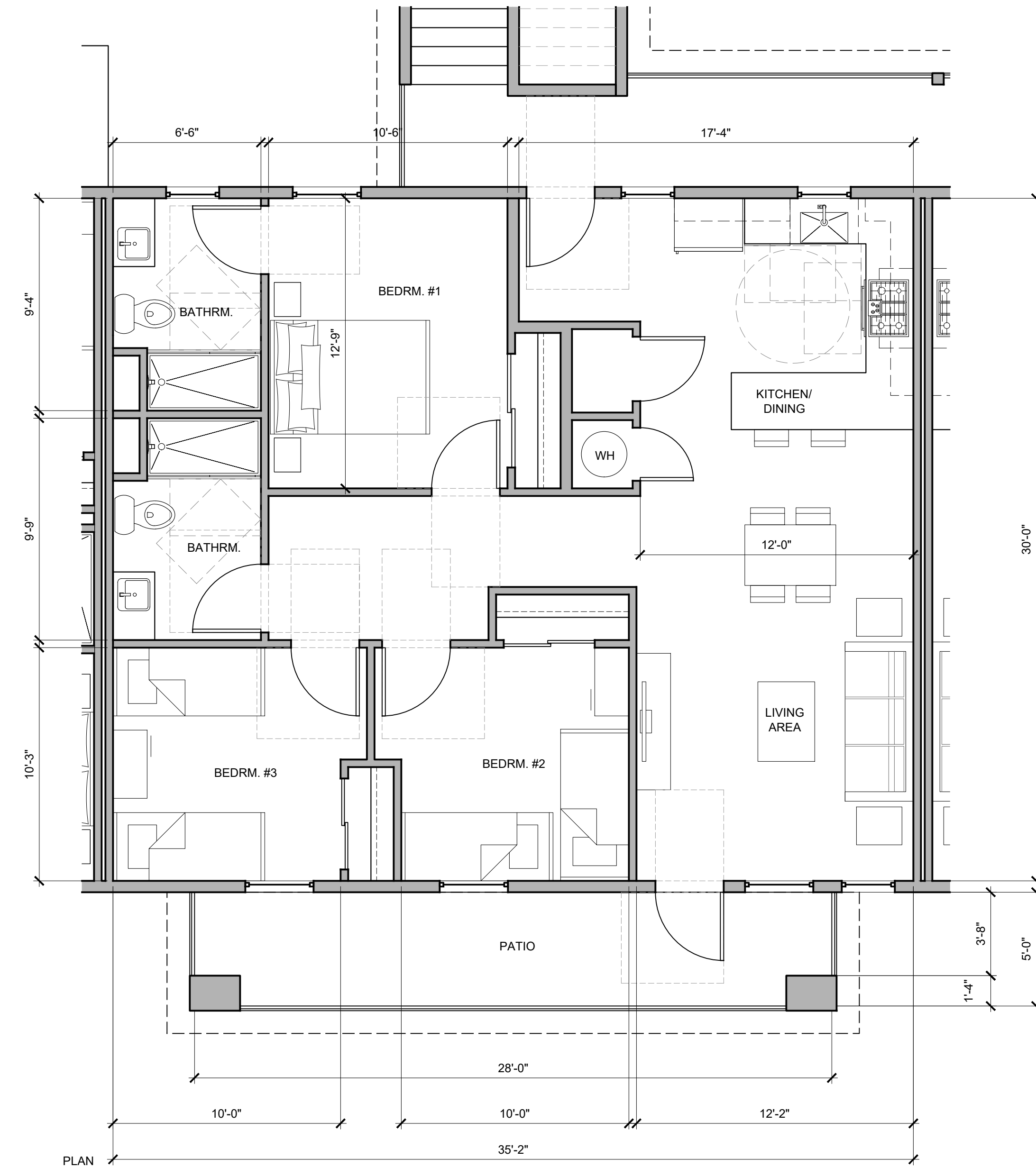
A209

FILE NAME: 17088-A209

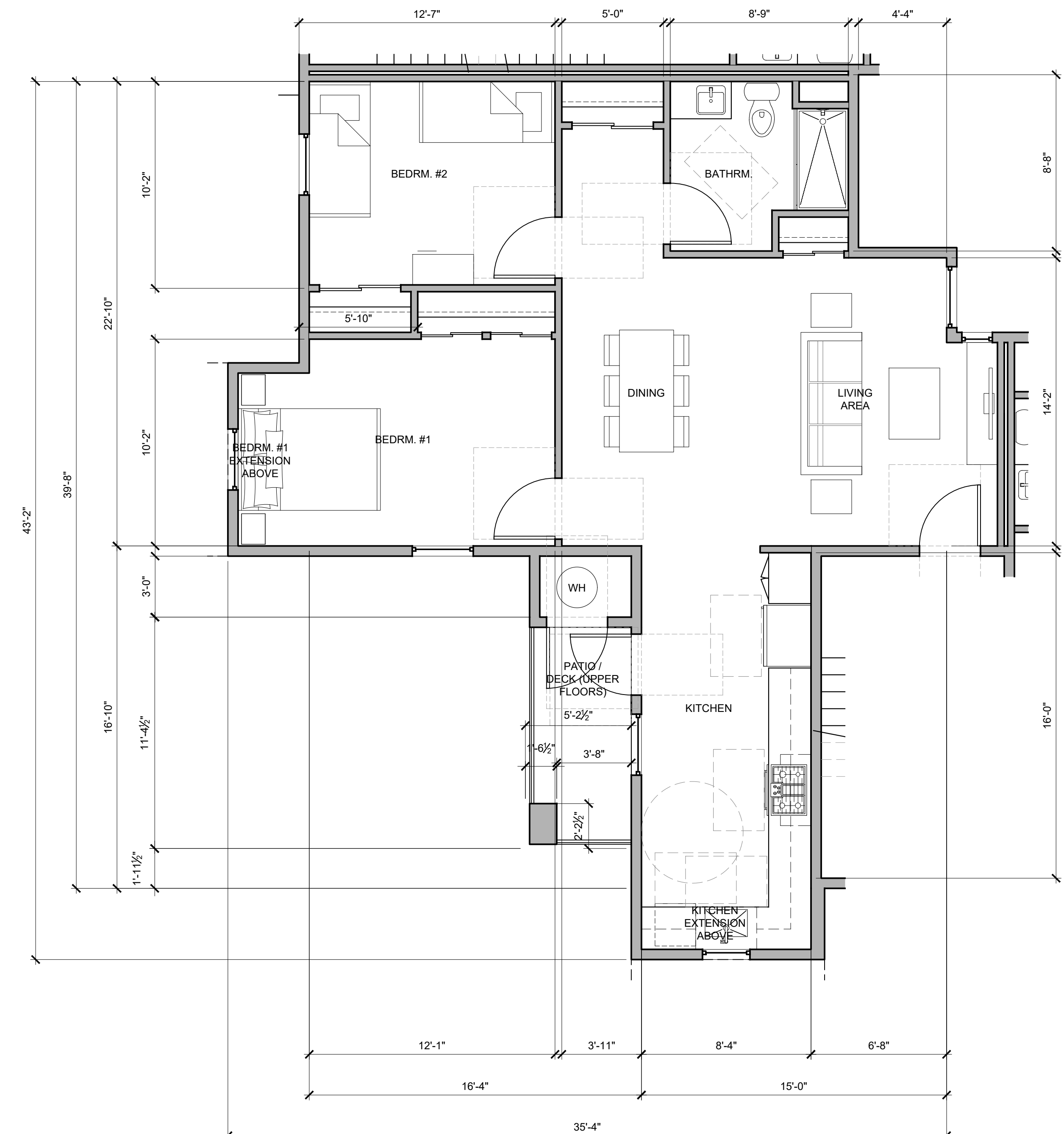




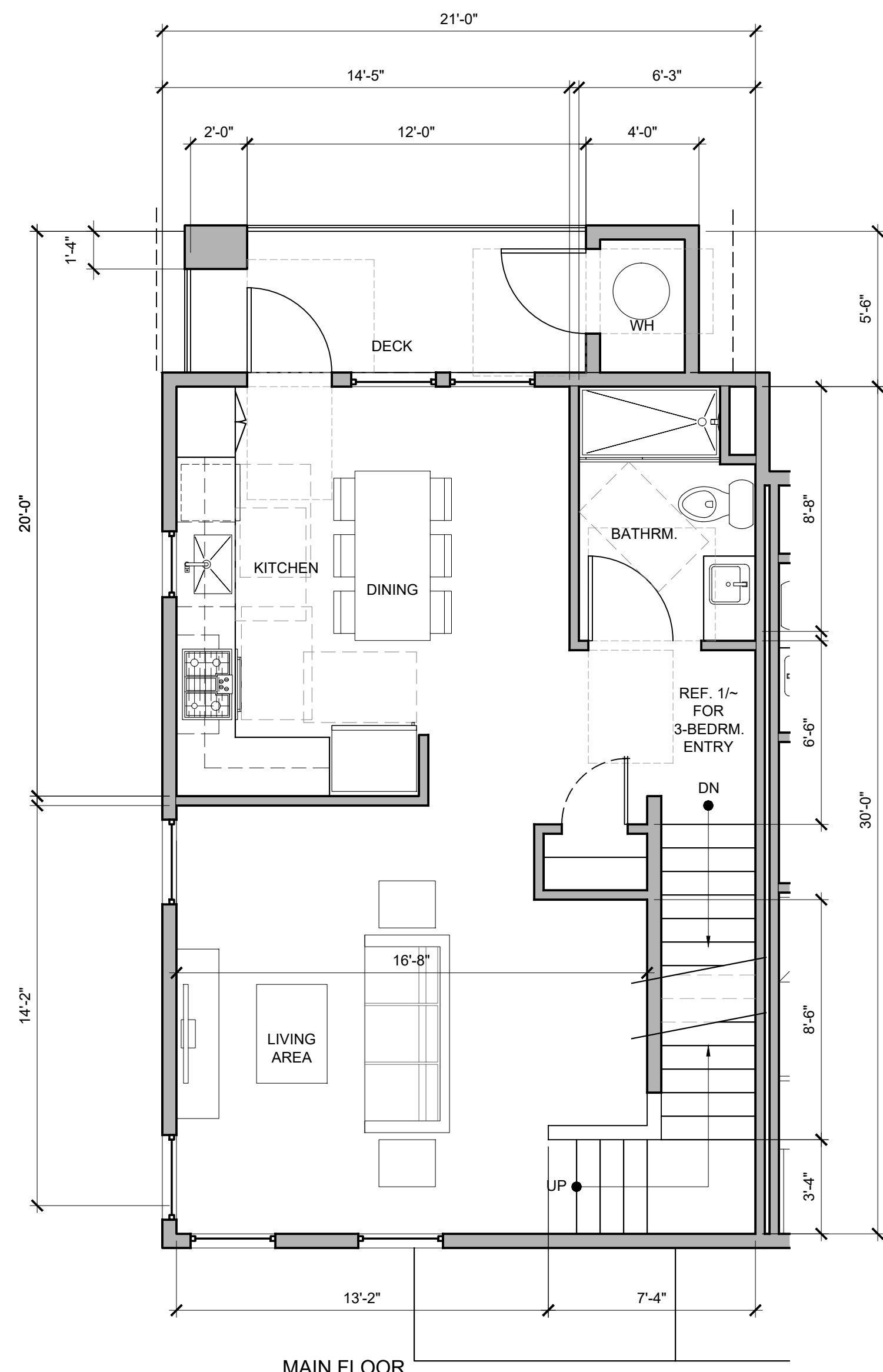
UPPER FLOOR



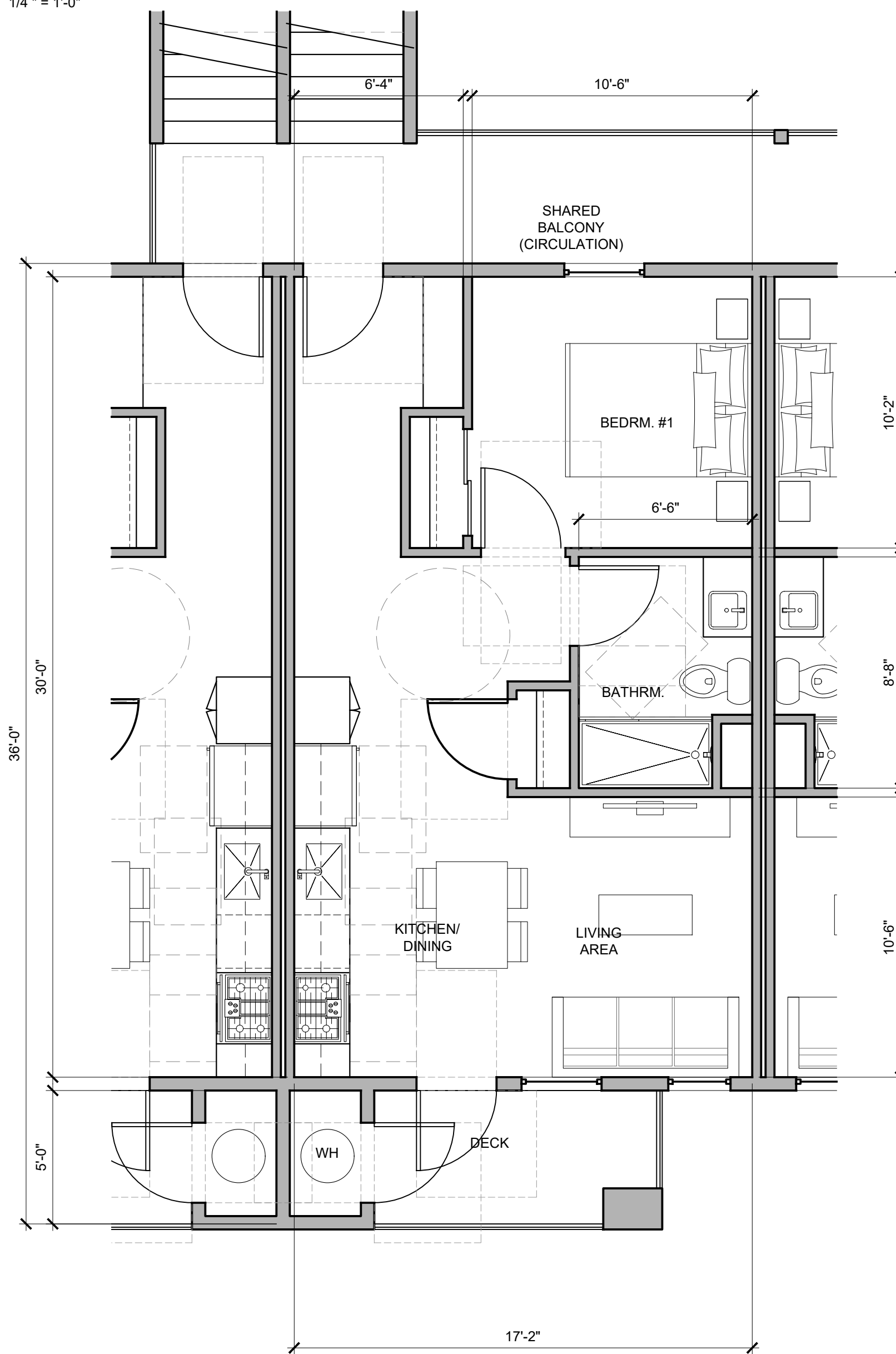
③ TYP. 3 BEDROOM UNIT TYPE A ENLARGED FLOOR PLAN  
SCALE: 1/4" = 1'-0"



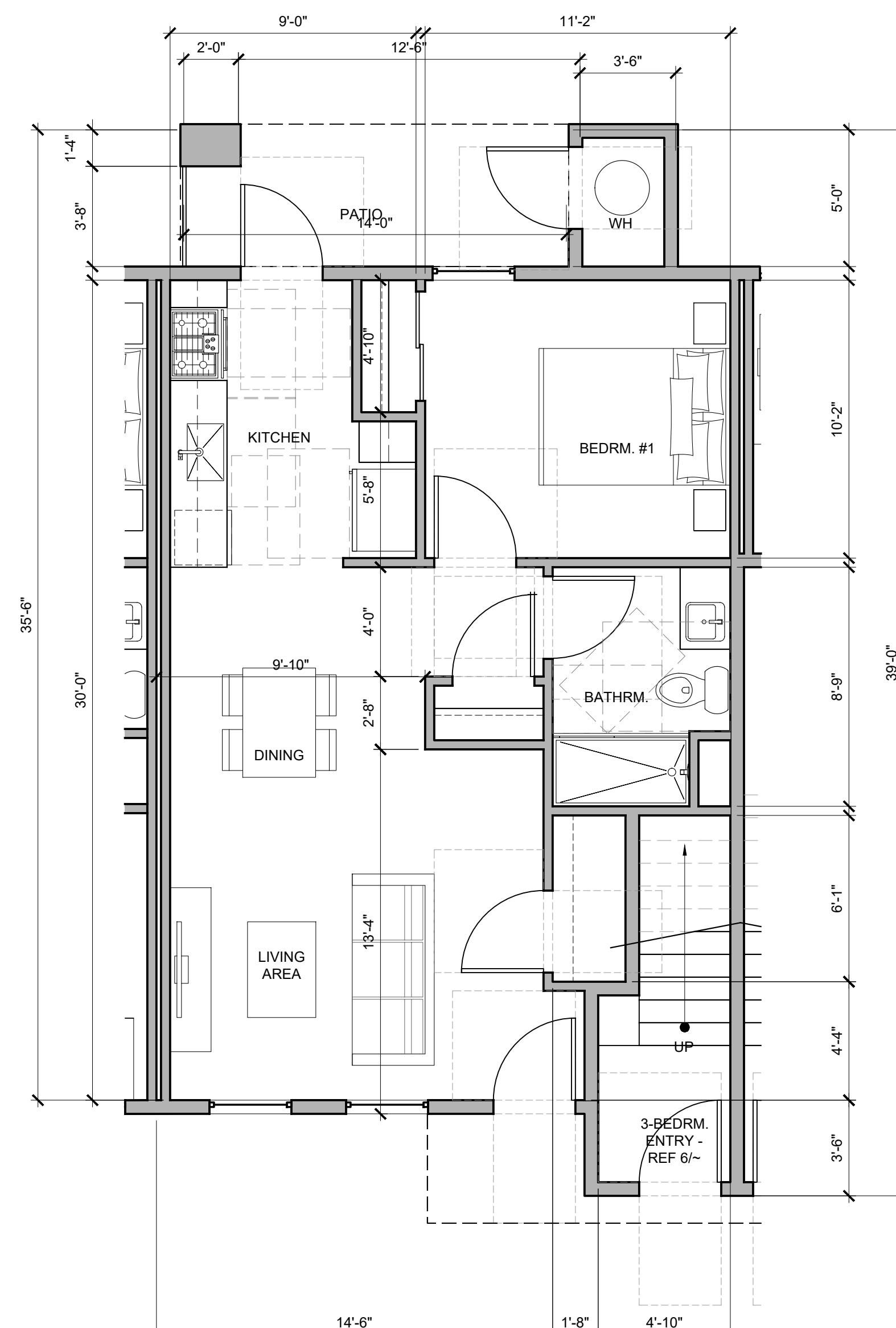
① TYP. 2 BEDROOM UNIT ENLARGED FLOOR PLAN  
SCALE: 1/4" = 1'-0"



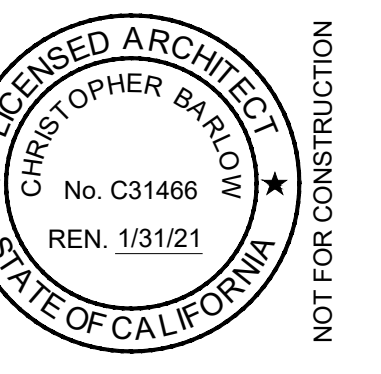
⑥ TYP. 3 BEDROOM UNIT TYPE B (TOWNHOME) ENLARGED FLOOR PLAN  
SCALE: 1/4" = 1'-0"



④ TYP. 1 BEDROOM UNIT TYPE B ENLARGED FLOOR PLAN  
SCALE: 1/4" = 1'-0"



② TYP. 1 BEDROOM UNIT TYPE A ENLARGED FLOOR PLAN  
SCALE: 1/4" = 1'-0"



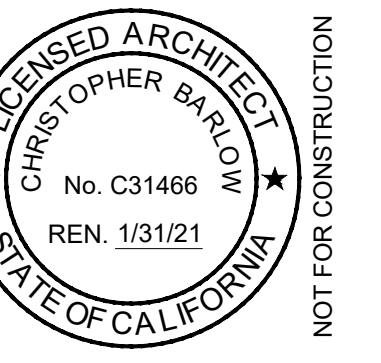




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MONTEREY, CALIFORNIA 93940  
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WWW.WRDARCH.COM

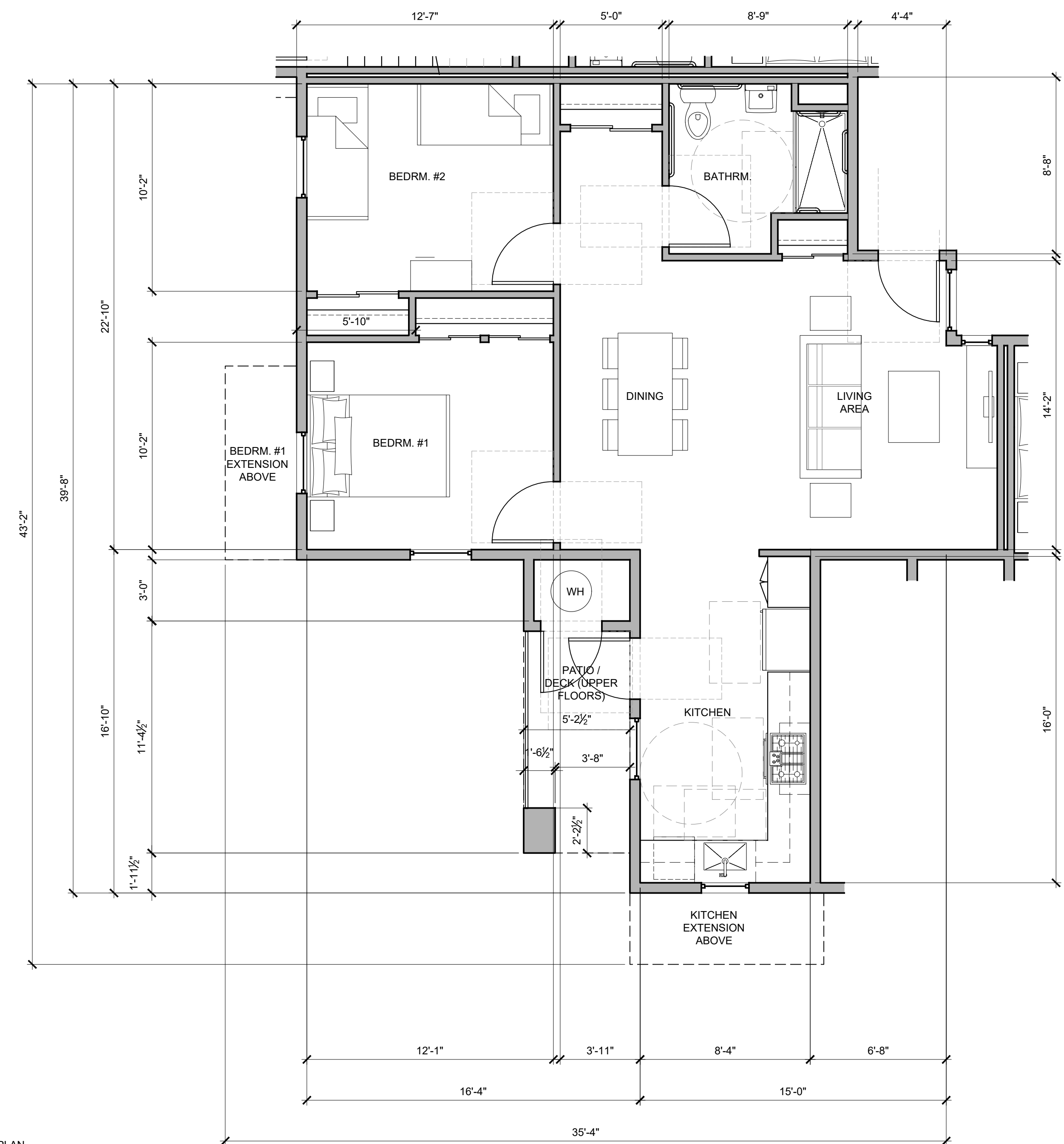
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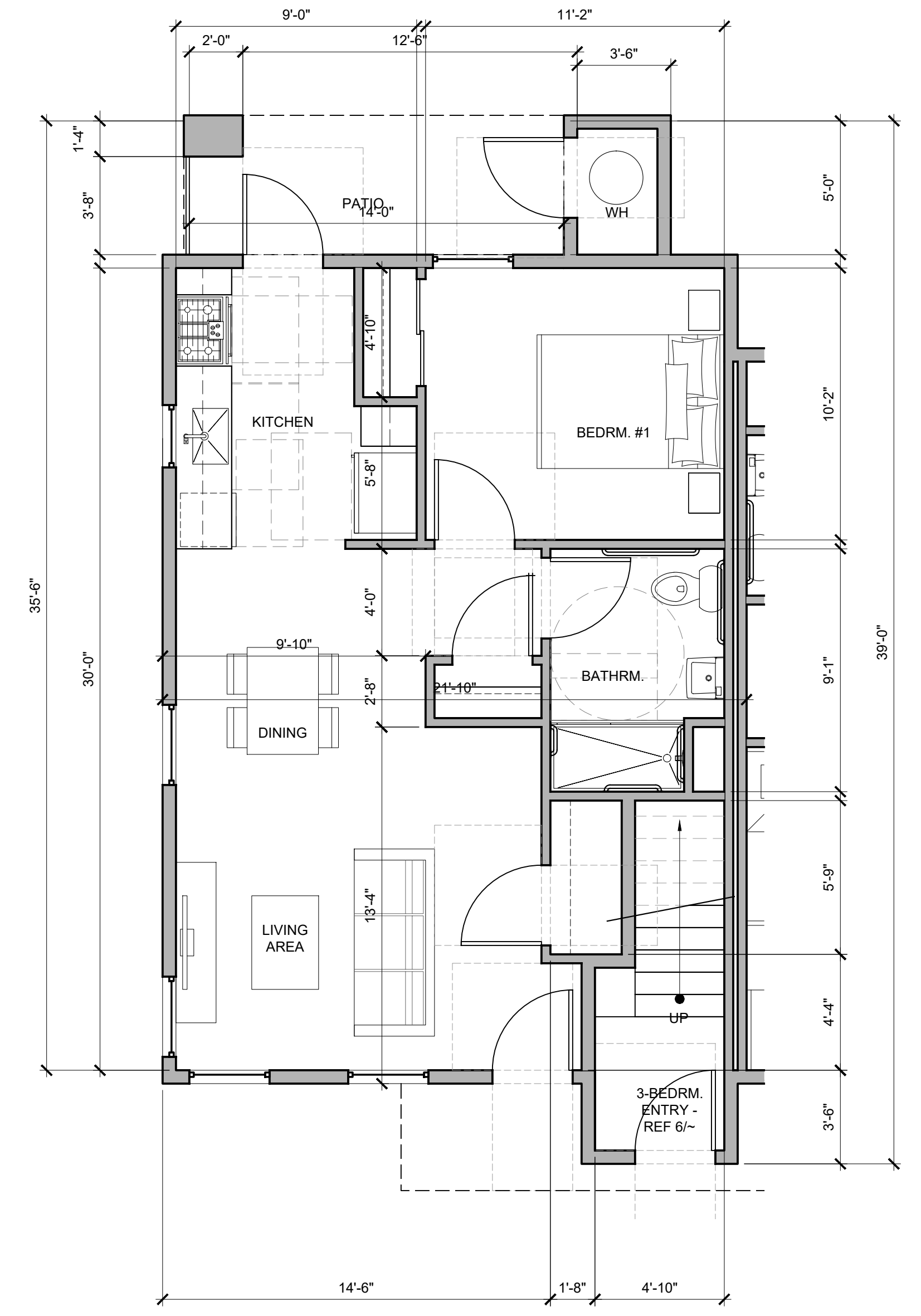
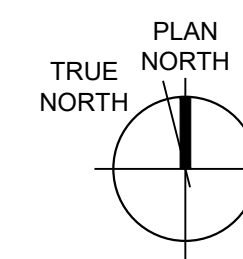
NOT FOR CONSTRUCTION

MID-PEN HOUSING  
1500 CAPITOLA ROAD MIXED-USE

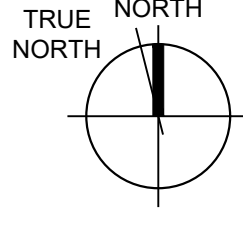
MID-PEN HOUSING CORP.  
WATSONVILLE DEVELOPMENT OFFICE  
275 MAIN STREET, SUITE 204, WATSONVILLE, CA 95076  
A.P.N.: 026-741-12, 026-741-13, 026-741-14, 026-741-15



1 TYP. 2 BEDROOM UNIT - WITH MOBILITY FEATURES  
ENLARGED FLOOR PLAN  
SCALE: 1/4" = 1'-0"



2 TYP. 1 BEDROOM UNIT TYPE A - WITH MOBILITY FEATURES  
ENLARGED FLOOR PLAN  
SCALE: 1/4" = 1'-0"



JOB NO.  
17088

PRINT DATE:  
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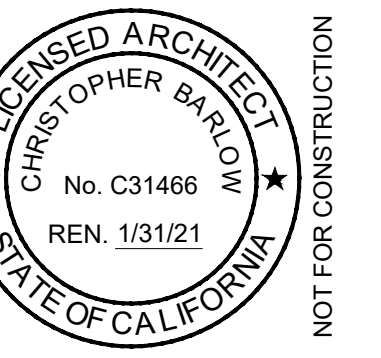
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ENLARGED UNIT PLANS

SHEET NO.:

A212

FILE NAME: 17088-A212





MID-PEN HOUSING  
 1500 CAPITOLA ROAD MIXED-USE

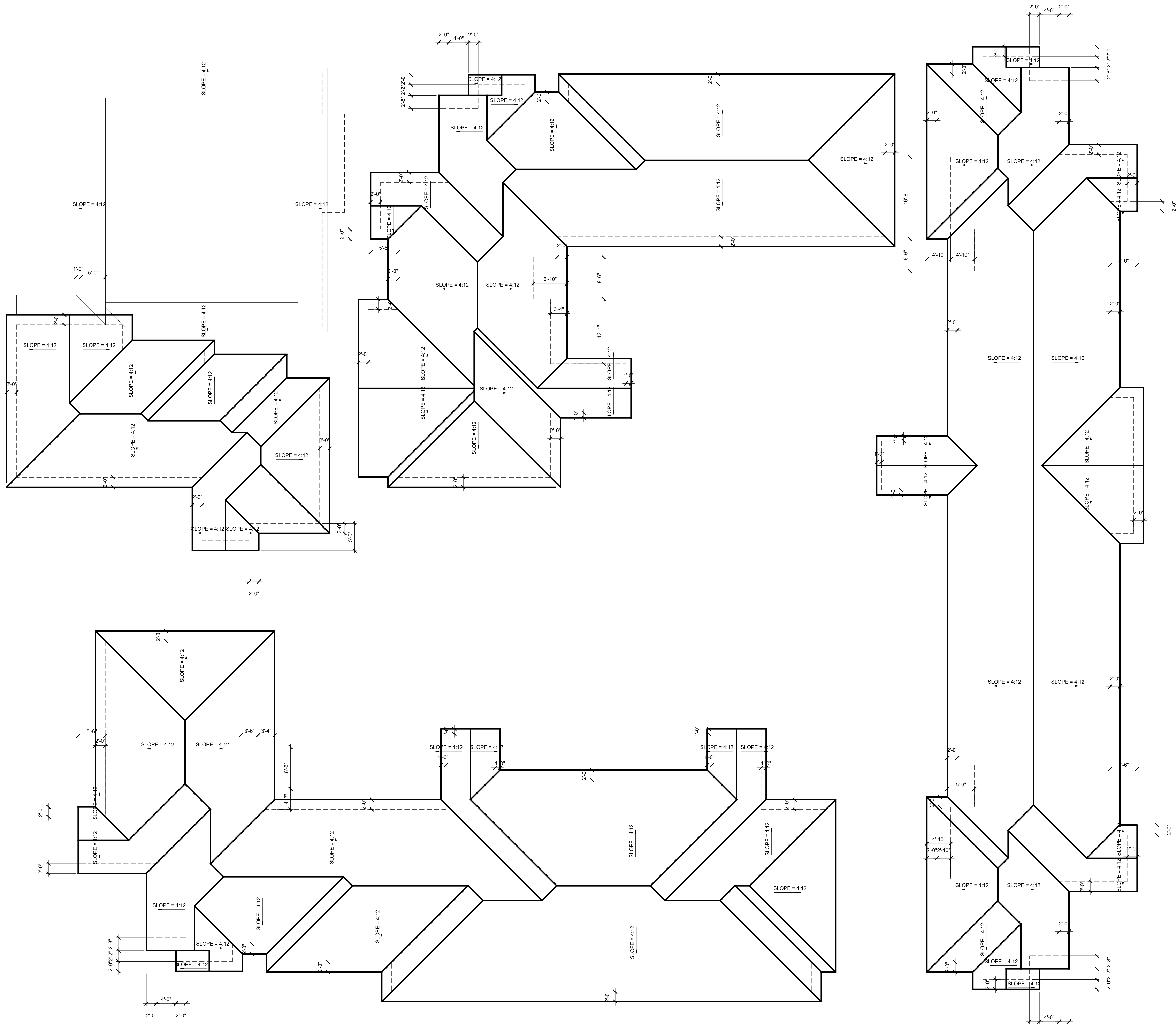
MID-PEN HOUSING CORP.  
 WATSONVILLE DEVELOPMENT OFFICE  
 275 MAIN STREET, SUITE 204, WATSONVILLE, CA 95076  
 A.P.N.: 026-741-12, 026-741-13, 026-741-14, 026-741-15

JOB NO. 17088  
 PRINT DATE: 7.26.2019  
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 SET ISSUED:  
 11/06/2018 COUNTY APPLICATION PACKAGE  
 02/15/2019 COUNTY RESUBMITTAL APPLICATION PACKAGE  
 05/13/2019 COUNTY RESUBMITTAL APPLICATION PACKAGE

SHEET NAME:  
 RESIDENTIAL ROOF PLAN  
 SHEET NO.:

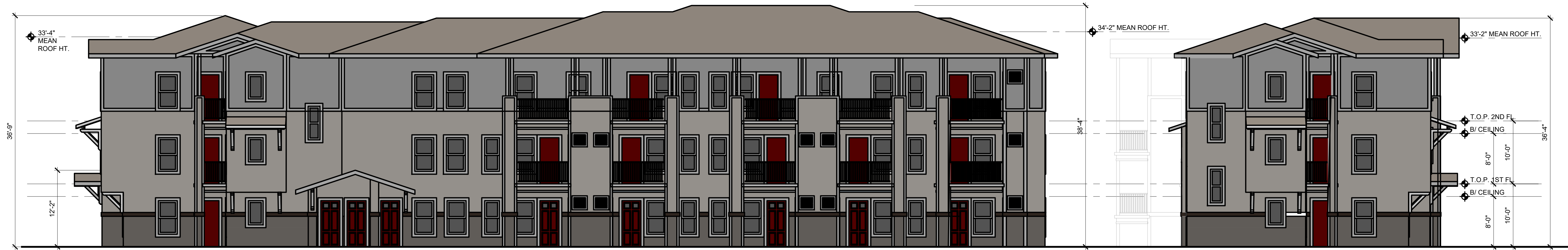
A230

FILE NAME: 17088-A230

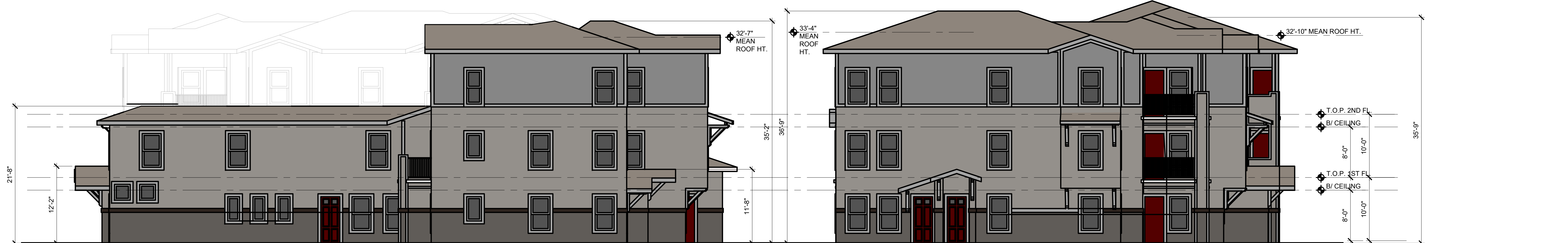


PLAN TRUE NORTH  
 1 THIRD FLOOR PLAN  
 SCALE: 1/8" = 1'-0"





**1** RESIDENTIAL SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



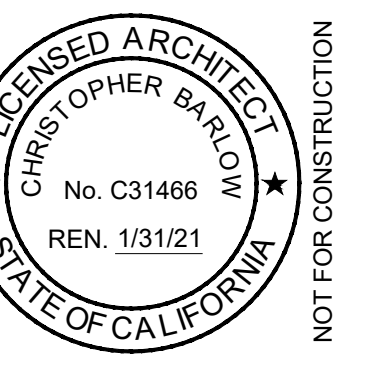
**2** RESIDENTIAL WEST ELEVATION  
SCALE: 1/8" = 1'-0"



**3** RESIDENTIAL NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



**4** RESIDENTIAL EAST ELEVATION  
SCALE: 1/8" = 1'-0"



**MID-PEN HOUSING**  
**1500 CAPITOLA ROAD MIXED-USE**  
MID-PEN HOUSING CORP.  
WATSONVILLE DEVELOPMENT OFFICE  
275 MAIN STREET, SUITE 204, WATSONVILLE, CA 95076  
A.P.N.: 026-741-12, 026-741-13, 026-741-14, 026-741-15

JOB NO.  
**17088**  
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05/13/2019 COUNTY RESUBMITTAL APPLICATION PACKAGE

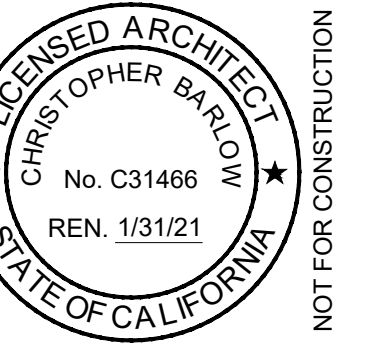
SHEET NAME:  
**RESIDENTIAL EXTERIOR ELEVATIONS**

SHEET NO.:

**A401**

FILE NAME: 17088-A401





MID-PEN HOUSING  
1500 CAPITOLA ROAD MIXED-USE

JOB NO.  
17088

PRINT DATE:  
7.26.2019

PLOT DATE:  
7.26.2019

DRAWN BY:  
VV

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02/15/2019	COUNTY RESUBMITTAL APPLICATION PACKAGE
05/13/2019	COUNTY RESUBMITTAL APPLICATION PACKAGE

SHEET NAME:  
RESIDENTIAL EXTERIOR ELEVATIONS

SHEET NO.:

A402

FILE NAME: 17088-A402



1 RESIDENTIAL COURTYARD SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 RESIDENTIAL COURTYARD WEST ELEVATION  
SCALE: 1/8" = 1'-0"



3 RESIDENTIAL COURTYARD NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



4 RESIDENTIAL COURTYARD EAST ELEVATION  
SCALE: 1/8" = 1'-0"





**MID-PEN HOUSING**  
1500 CAPITOLA ROAD MIXED-USE

MID-PEN HOUSING CORP.  
1500 CAPITOLA ROAD  
275 MAIN STREET, SUITE 204, WATSONVILLE, CA 95076  
A.P.N.: 026-741-12, 026-741-13, 026-741-14, 026-741-15

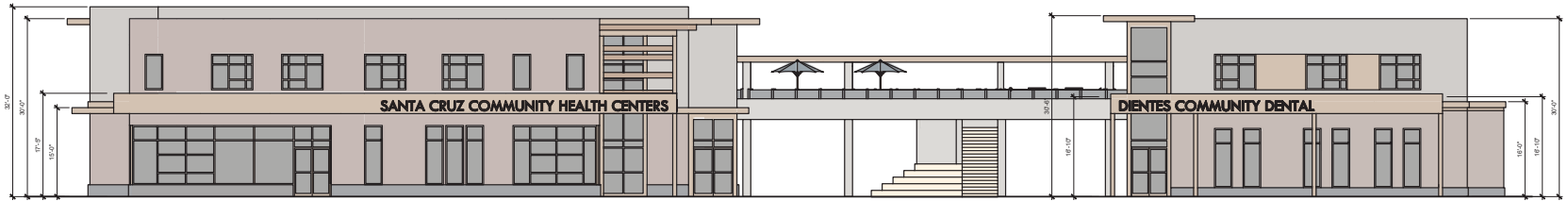
JOB NO.  
**17088**  
PLOT DATE: 7.30.2019  
DRAWN BY: VV  
CHECKED BY: HR  
SET ISSUED:

11/06/2018 COUNTY APPLICATION  
02/15/2019 COUNTY PERMITS REVIEW  
05/13/2019 APPROVAL FOR PLANNING

SHEET NAME:  
**COMMERCIAL  
EXTERIOR  
ELEVATIONS**  
SHEET NO.:

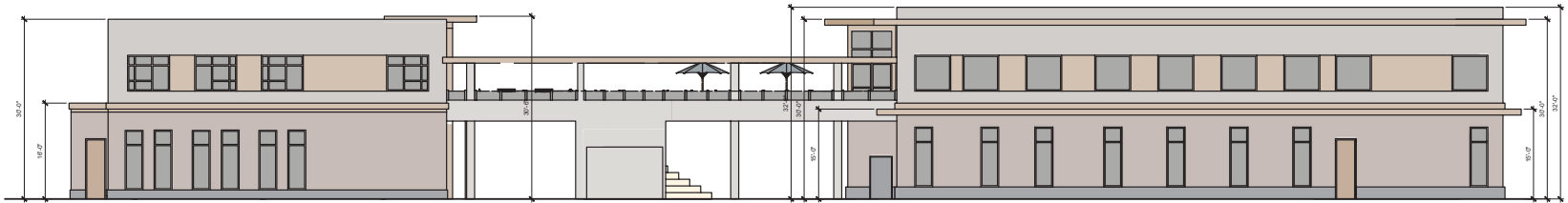
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FILE NAME: 17088A03



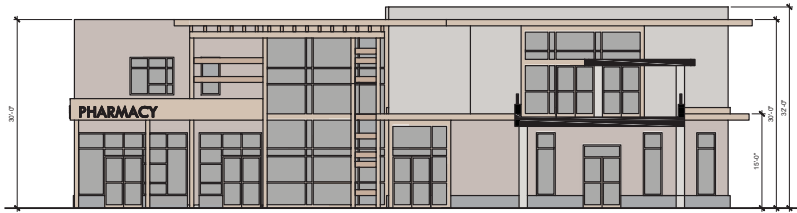
5 SCCHC BUILDING #1  
NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

1 DIENTES BUILDING #2  
NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

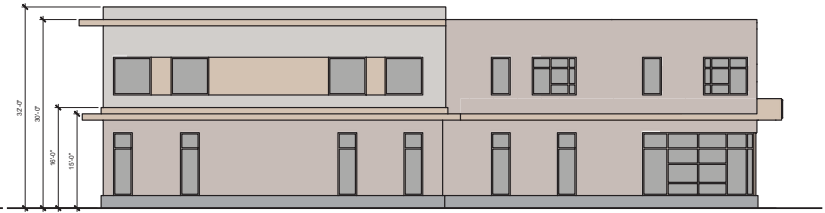


6 DIENTES BUILDING #2  
SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

2 SCCHC BUILDING #1  
SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



7 SCCHC BUILDING #1  
WEST ELEVATION  
SCALE: 1/8" = 1'-0"



3 SCCHC BUILDING #1  
EAST ELEVATION  
SCALE: 1/8" = 1'-0"



8 DIENTES BUILDING #2  
WEST ELEVATION  
SCALE: 1/8" = 1'-0"



4 DIENTES BUILDING #2  
EAST ELEVATION  
SCALE: 1/8" = 1'-0"





4



1



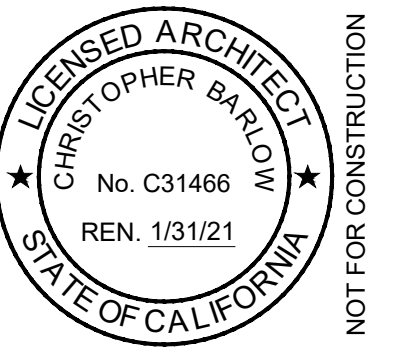
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2



3



**MID-PEN HOUSING**  
**1500 CAPITOLA ROAD MIXED-USE**  
 MID-PEN HOUSING CORP.  
 WATSONVILLE DEVELOPMENT OFFICE  
 2715 MAIN STREET, SUITE 204, WATSONVILLE, CA 95076  
 A.P.N.: 026-741-12, 026-741-13, 026-741-14, 026-741-15

JOB NO:  
**17088**  
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 05/13/2019 COUNTY RESUBMITTAL APPLICATION PACKAGE

SHEET NAME:  
**PERSPECTIVE RENDERINGS**

SHEET NO.:  
**A411**  
 FILE NAME: 17088-A411





4



1



5



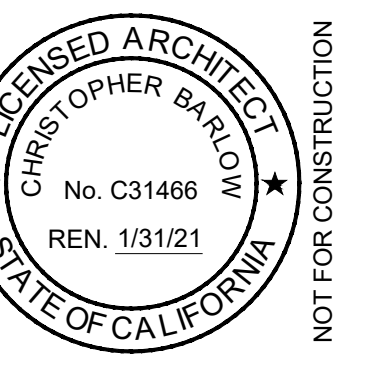
2



6



3



**MID-PEN HOUSING**  
**1500 CAPITOLA ROAD MIXED-USE**  
MID-PEN HOUSING CORP.  
WATSONVILLE DEVELOPMENT OFFICE  
275 MAIN STREET, SUITE 204, WATSONVILLE, CA 95076  
A.P.N.: 026-741-12, 026-741-13, 026-741-14, 026-741-15

JOB NO.  
**17088**  
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02/15/2019 COUNTY RESUBMITTAL APPLICATION PACKAGE  
05/13/2019 COUNTY RESUBMITTAL APPLICATION PACKAGE

SHEET NAME:  
**PERSPECTIVE RENDERINGS**

SHEET NO.:  
**A412**

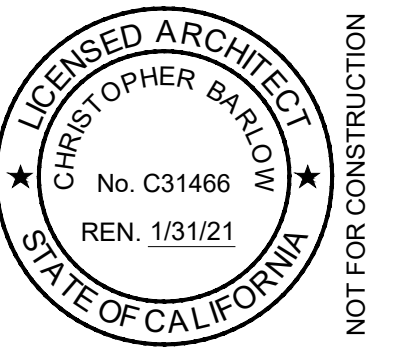




① FROM NORTHWEST CORNER ON CAPITOLA RD.



② FROM NORTHEAST CORNER ON 16th AVE.



**MID-PEN HOUSING**  
**1500 CAPITOLA ROAD MIXED-USE**

MID-PEN HOUSING CORP.  
 WATSONVILLE DEVELOPMENT OFFICE  
 2715 MAIN STREET, SUITE 204, WATSONVILLE, CA 95076  
 A.P.N.: 026-741-12, 026-741-13, 026-741-14, 026-741-15

JOB NO:  
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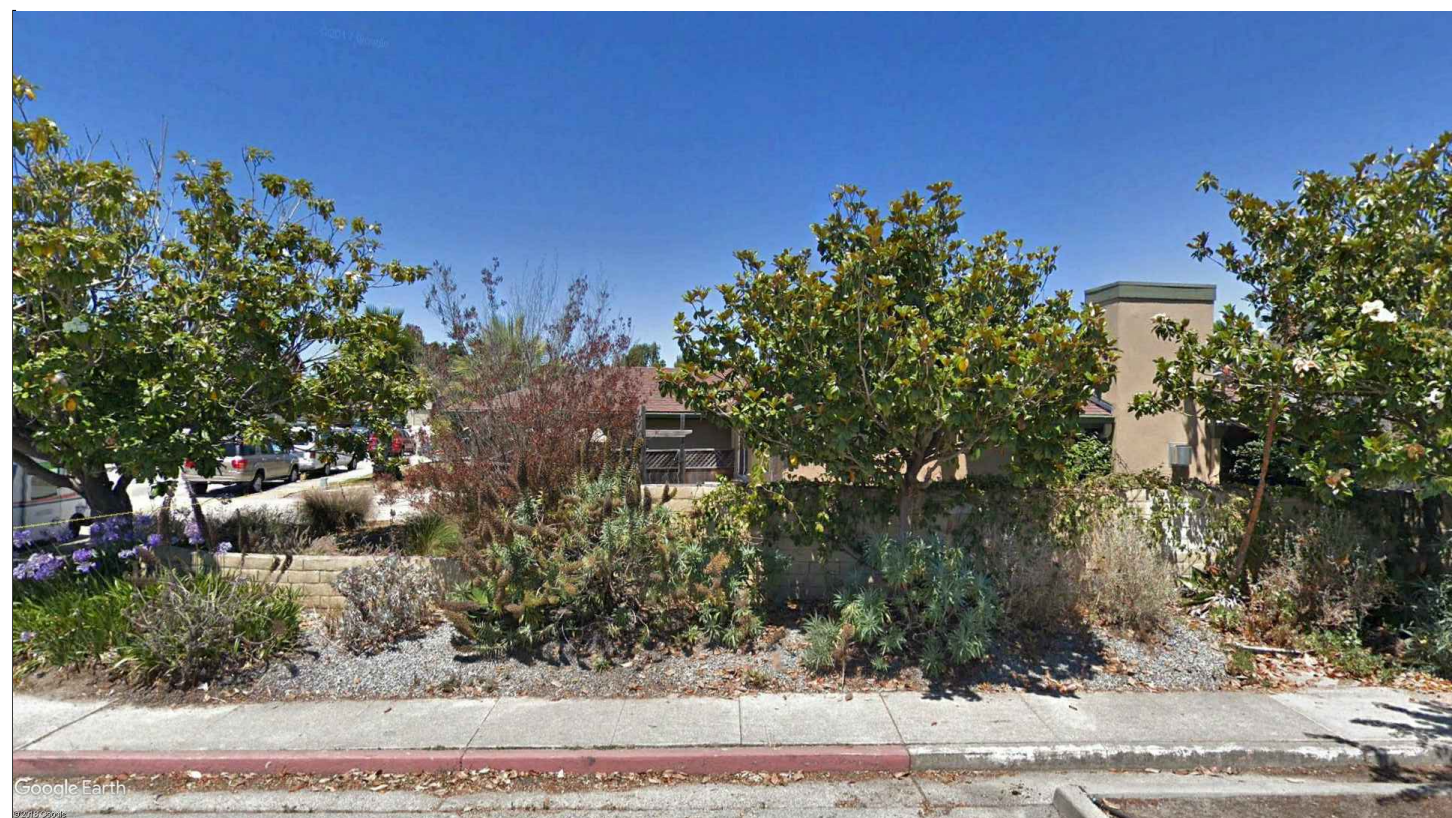
SHEET NAME:  
**SITE PERSPECTIVE DIAGRAMS**

SHEET NO.:

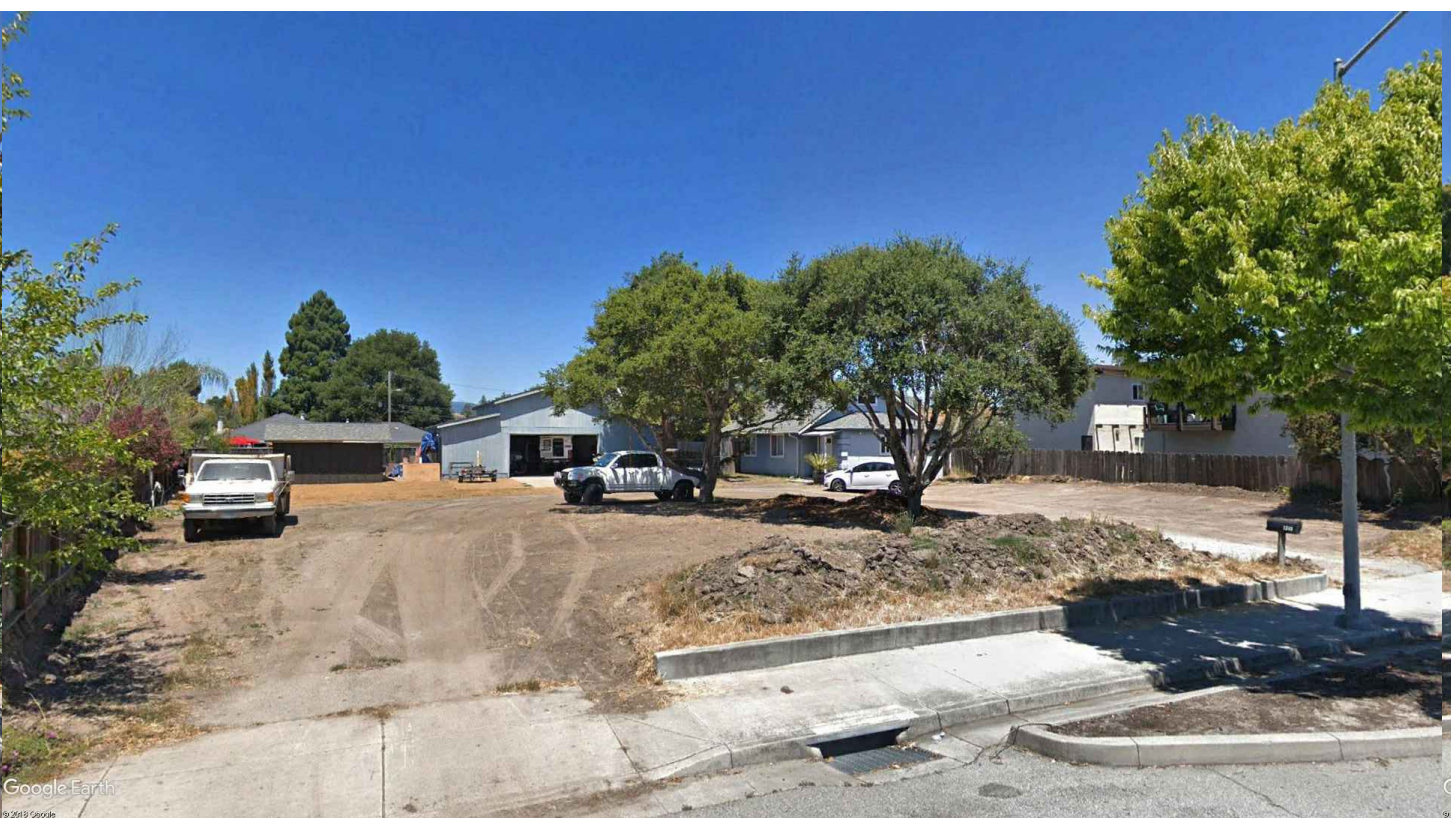
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FILE NAME: 17088-A450





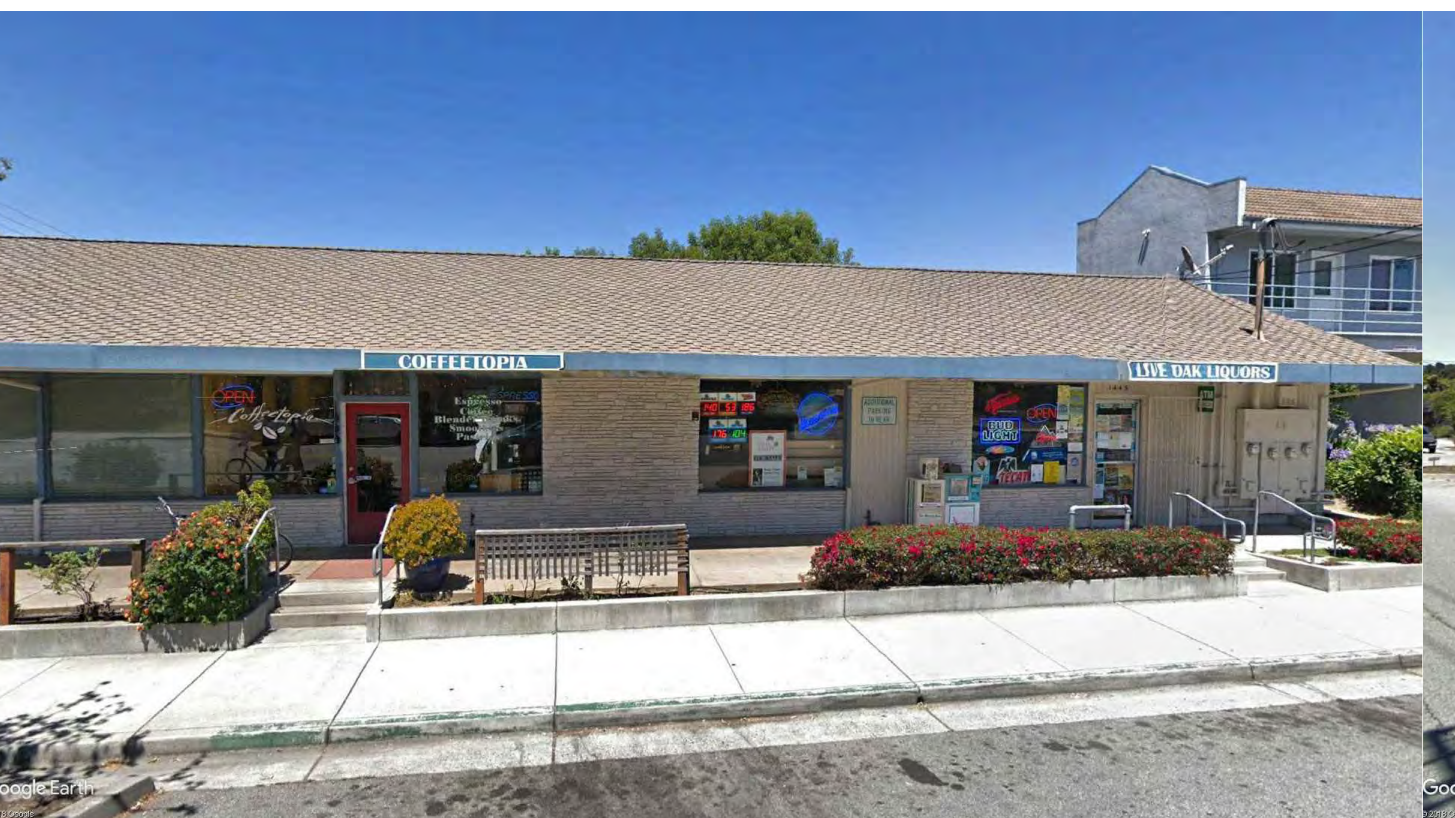
1 1700 CAPITOLA RD. (NORTH SIDE)



2 1345 CAPITOLA RD. (NORTH SIDE)



3 1355-1359 CAPITOLA RD. (NORTH SIDE)



4 1441, 1443, 1445 CAPITOLA RD. (NORTH SIDE)



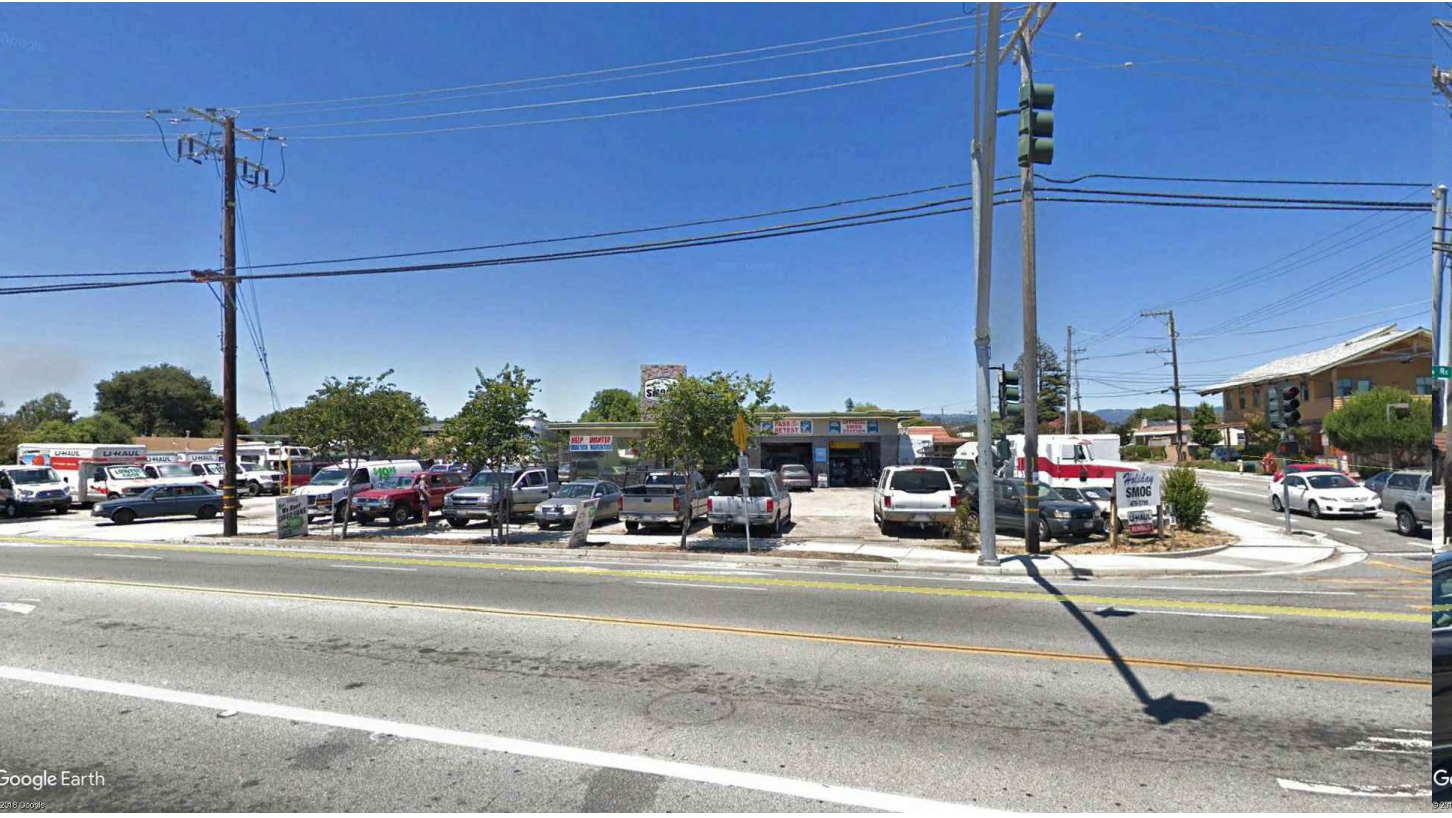
5 1515 A-O CAPITOLA RD. (NORTH SIDE)



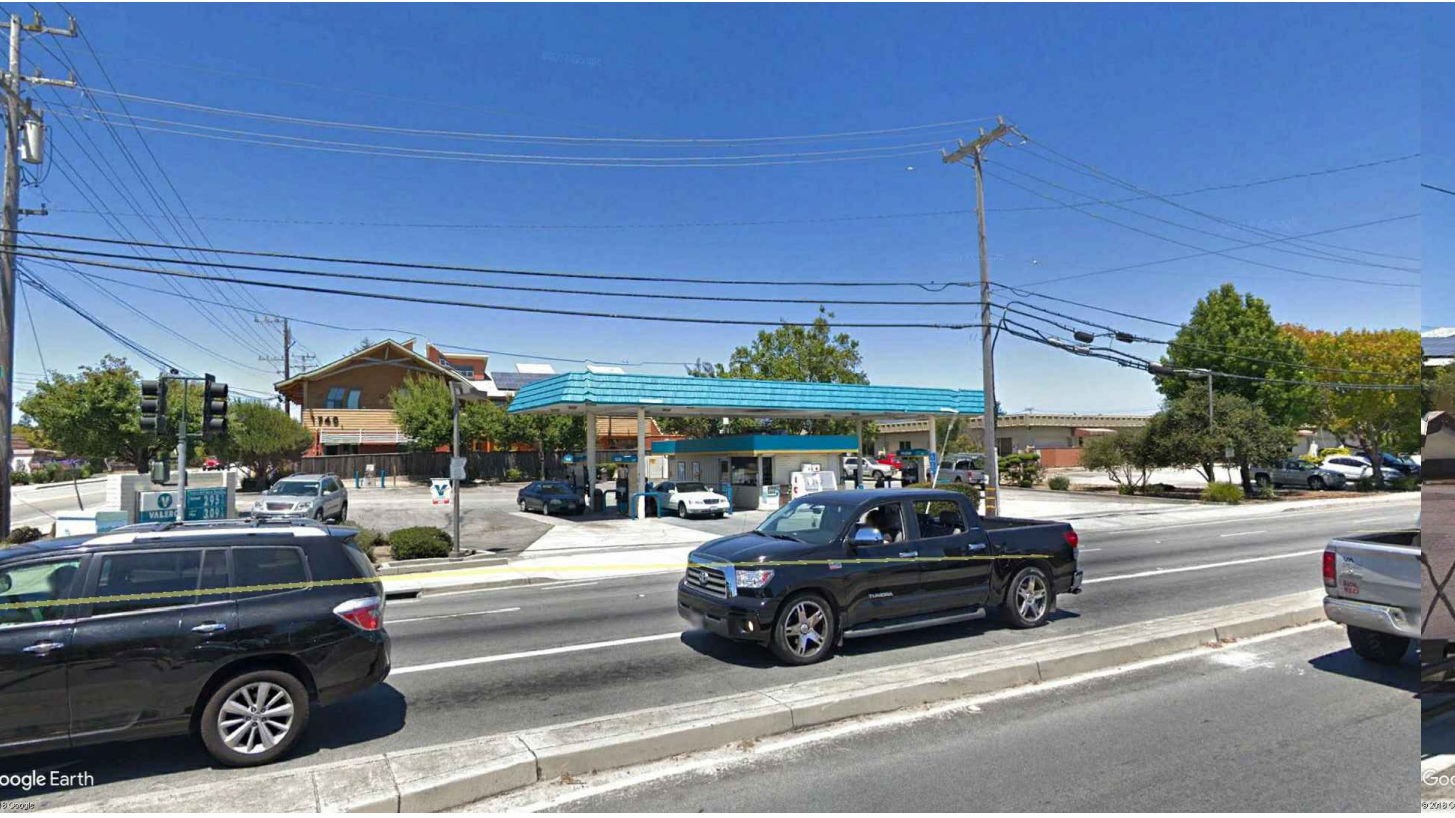
6 1605 CAPITOLA RD. (NORTH SIDE)



7 1621 #1-4 CAPITOLA RD. (NORTH SIDE)



8 1671 CAPITOLA RD. (NORTH SIDE)



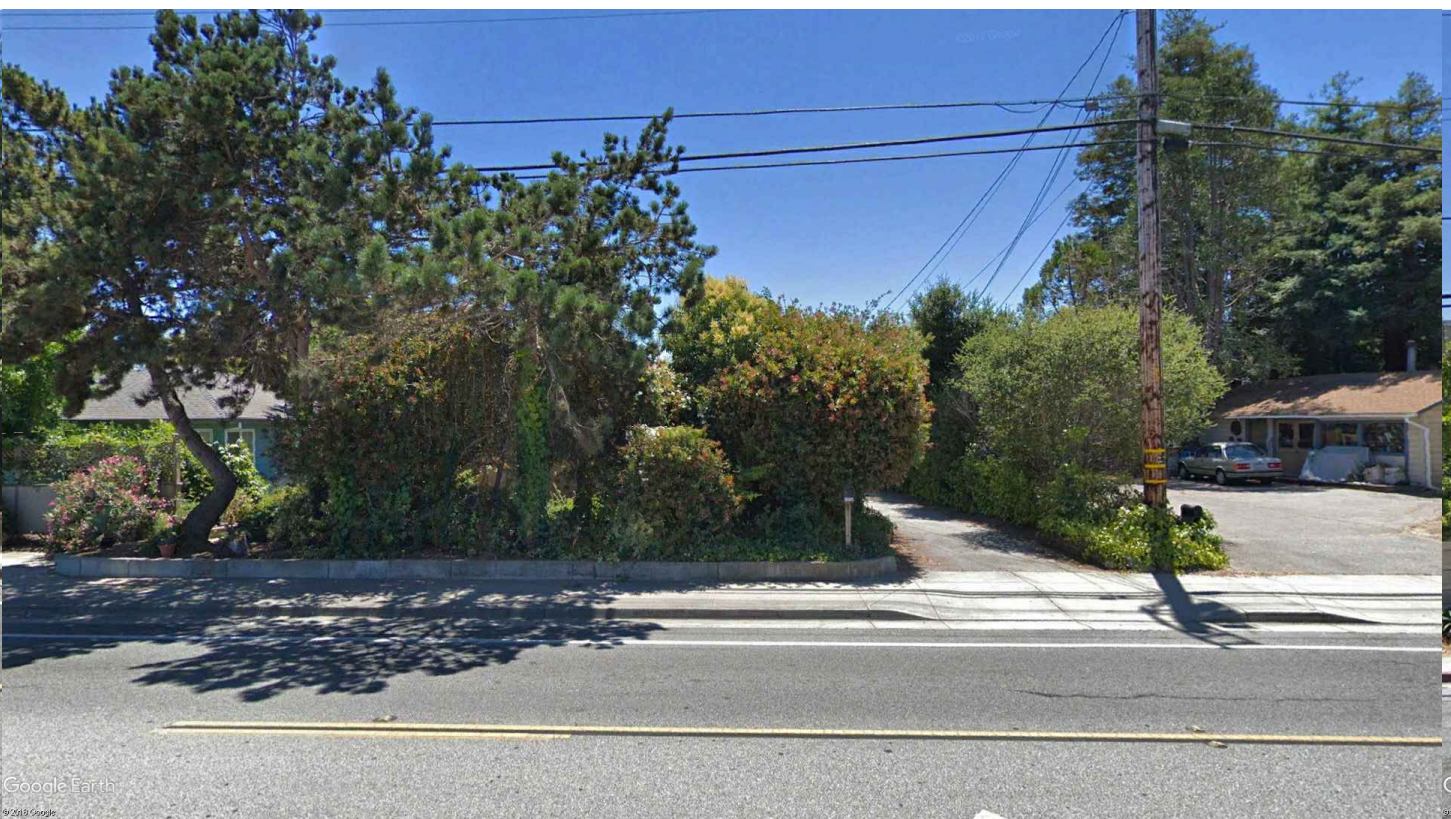
9 1701 CAPITOLA RD. (NORTH SIDE)



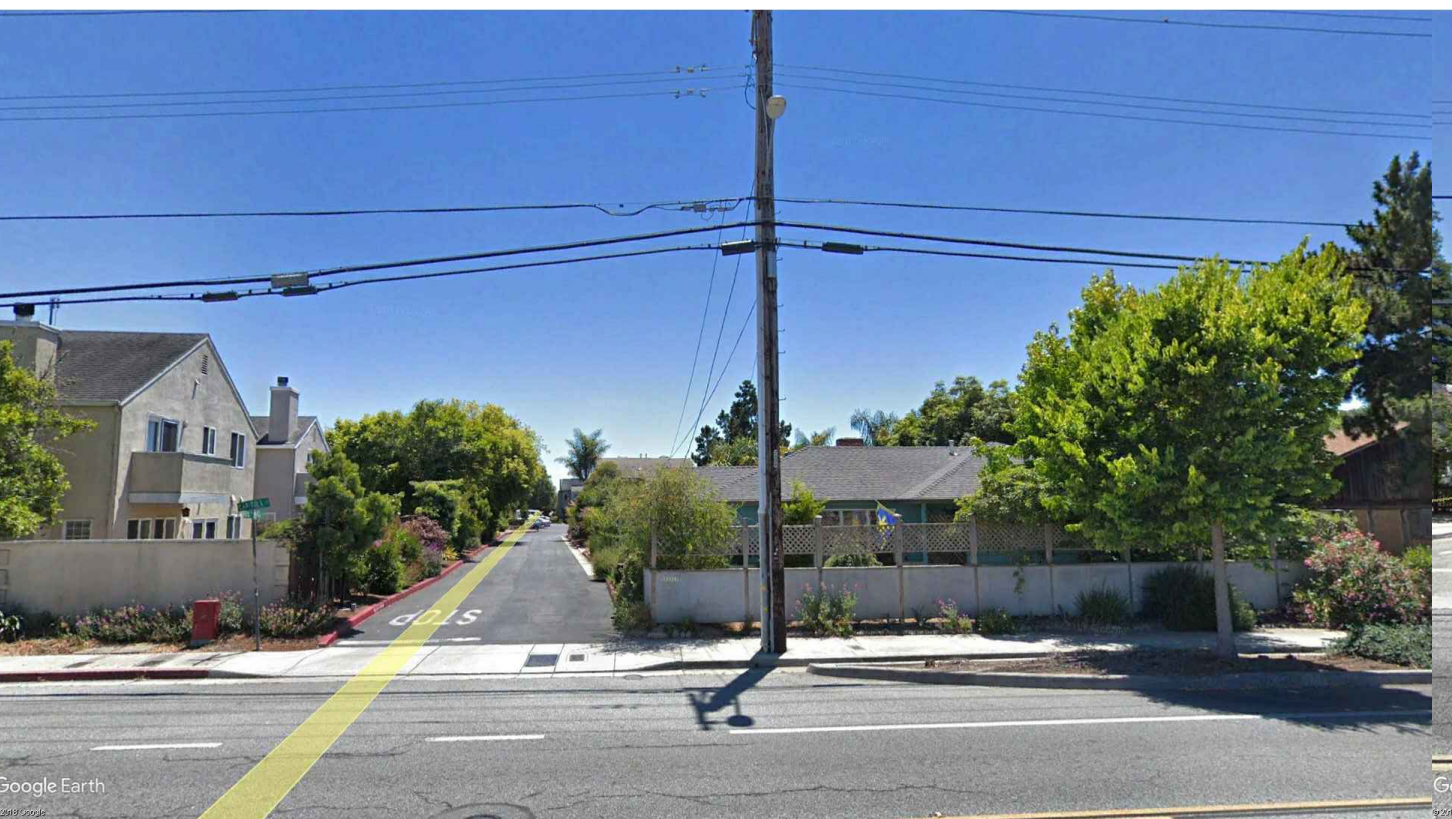
10 1777 CAPITOLA RD. (NORTH SIDE)



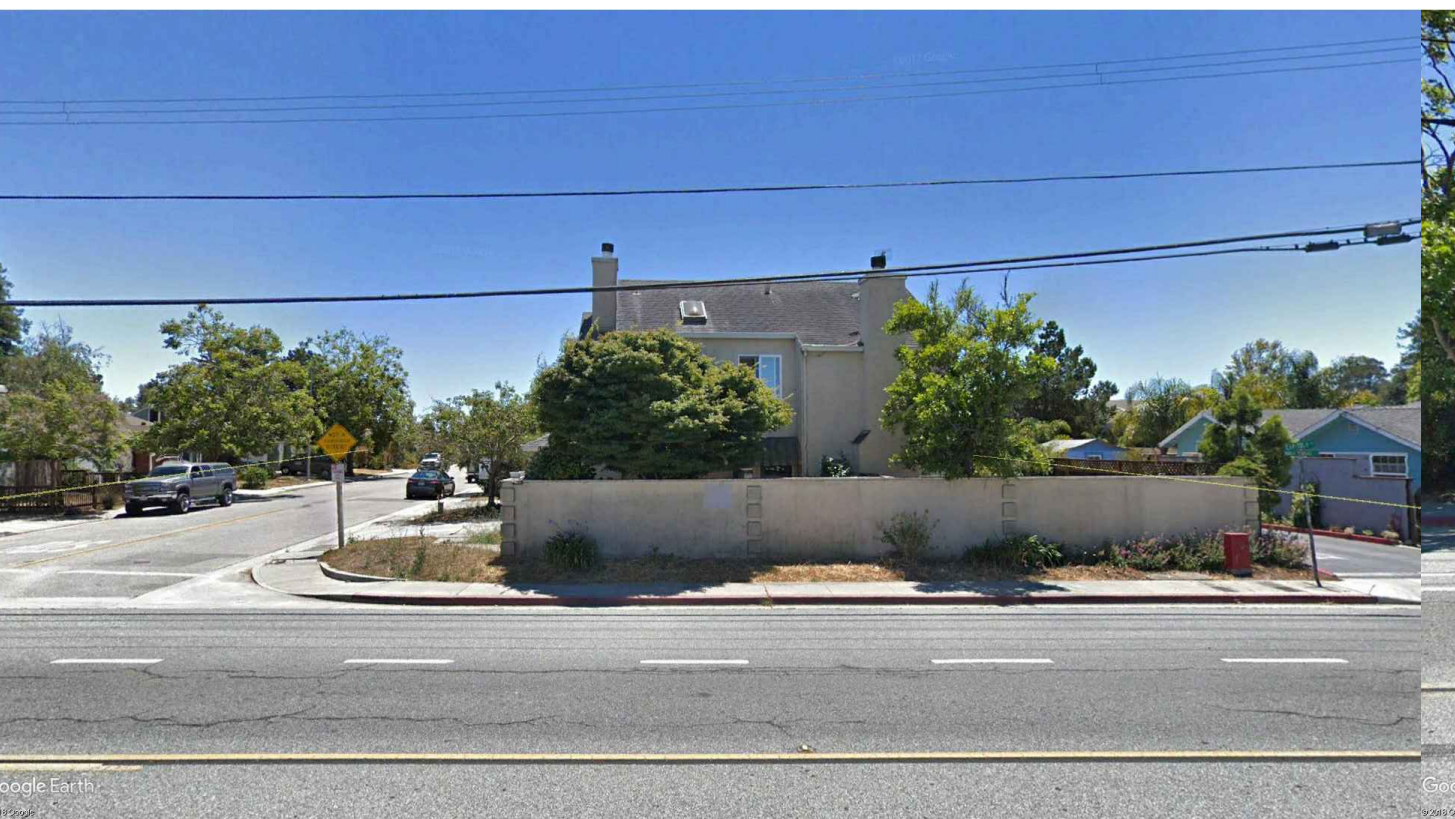
11 1250 CAPITOLA RD. (SOUTH SIDE)



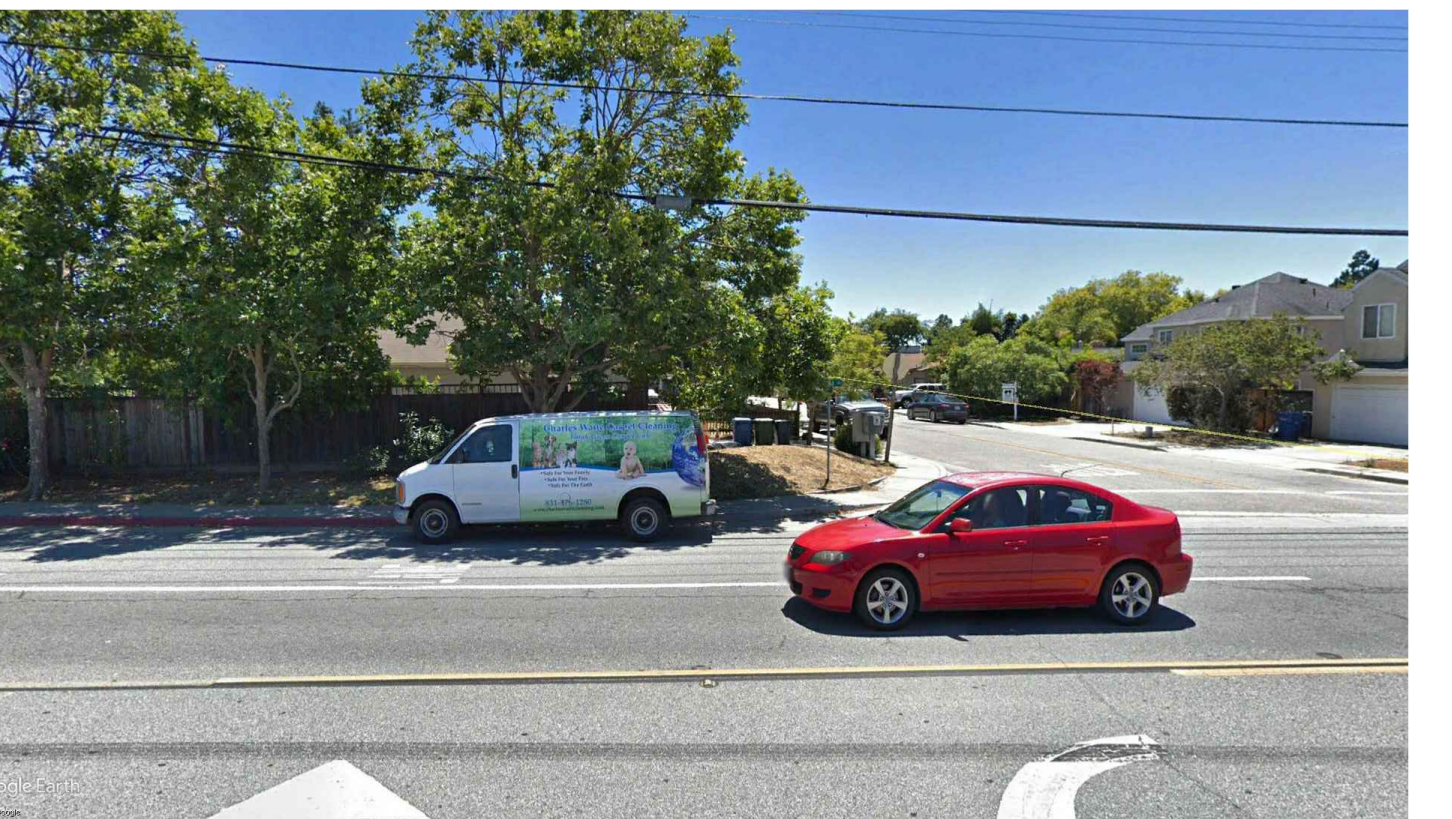
12 1270 CAPITOLA RD. (SOUTH SIDE)



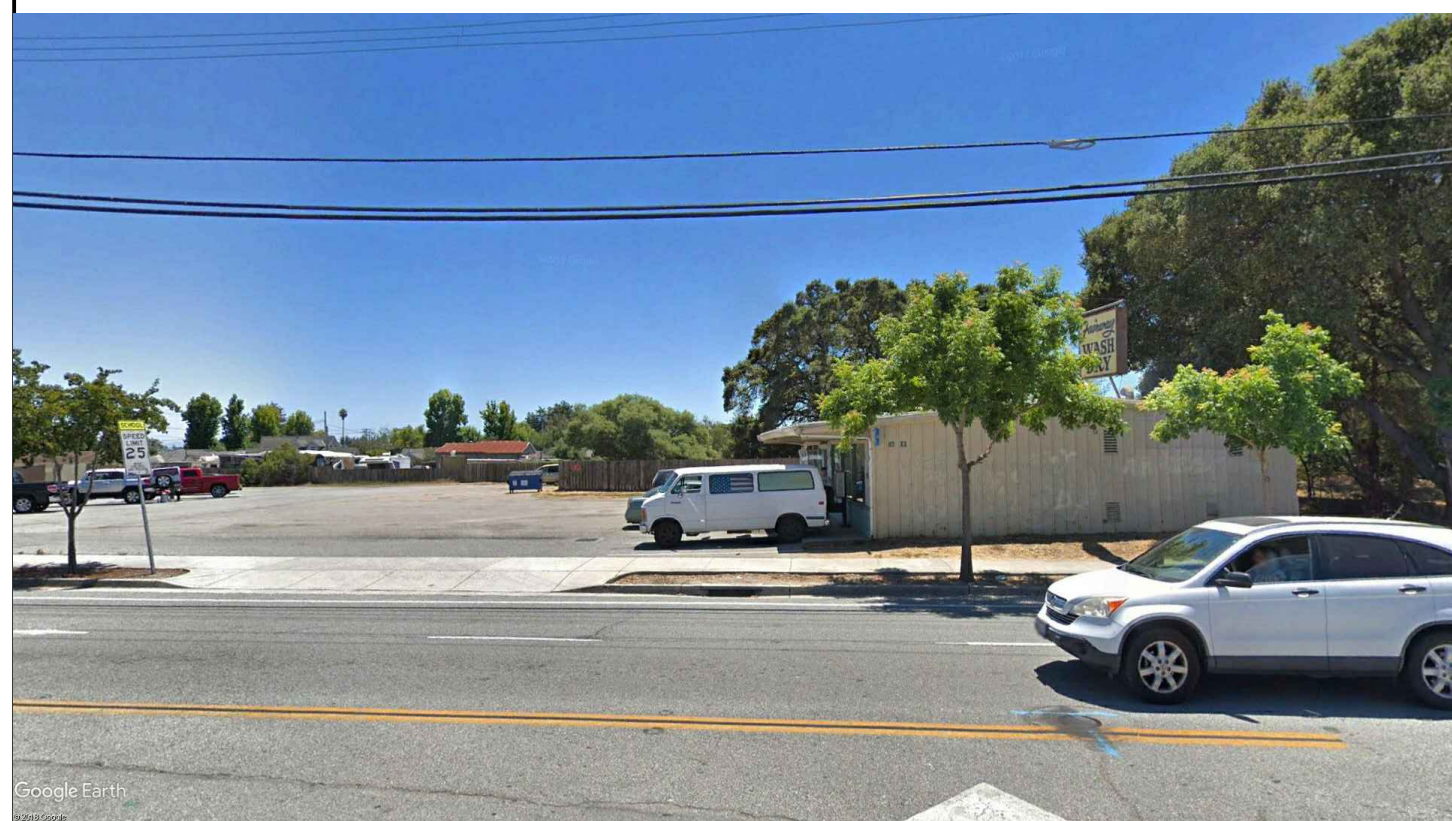
13 1310 CAPITOLA RD. (SOUTH SIDE)



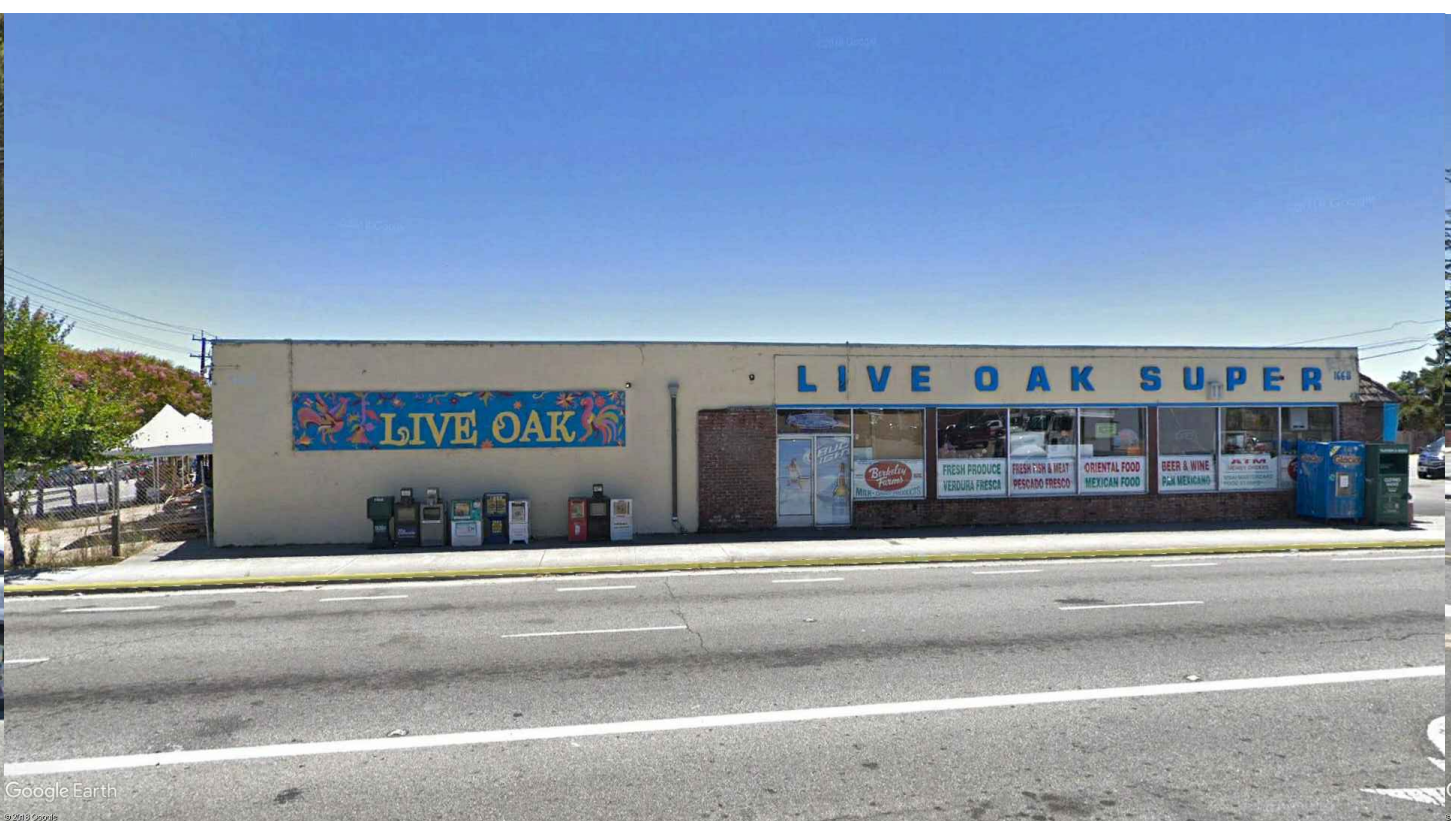
14 1328 CAPITOLA RD. (SOUTH SIDE)



15 1329 CAPITOLA RD. (SOUTH SIDE)



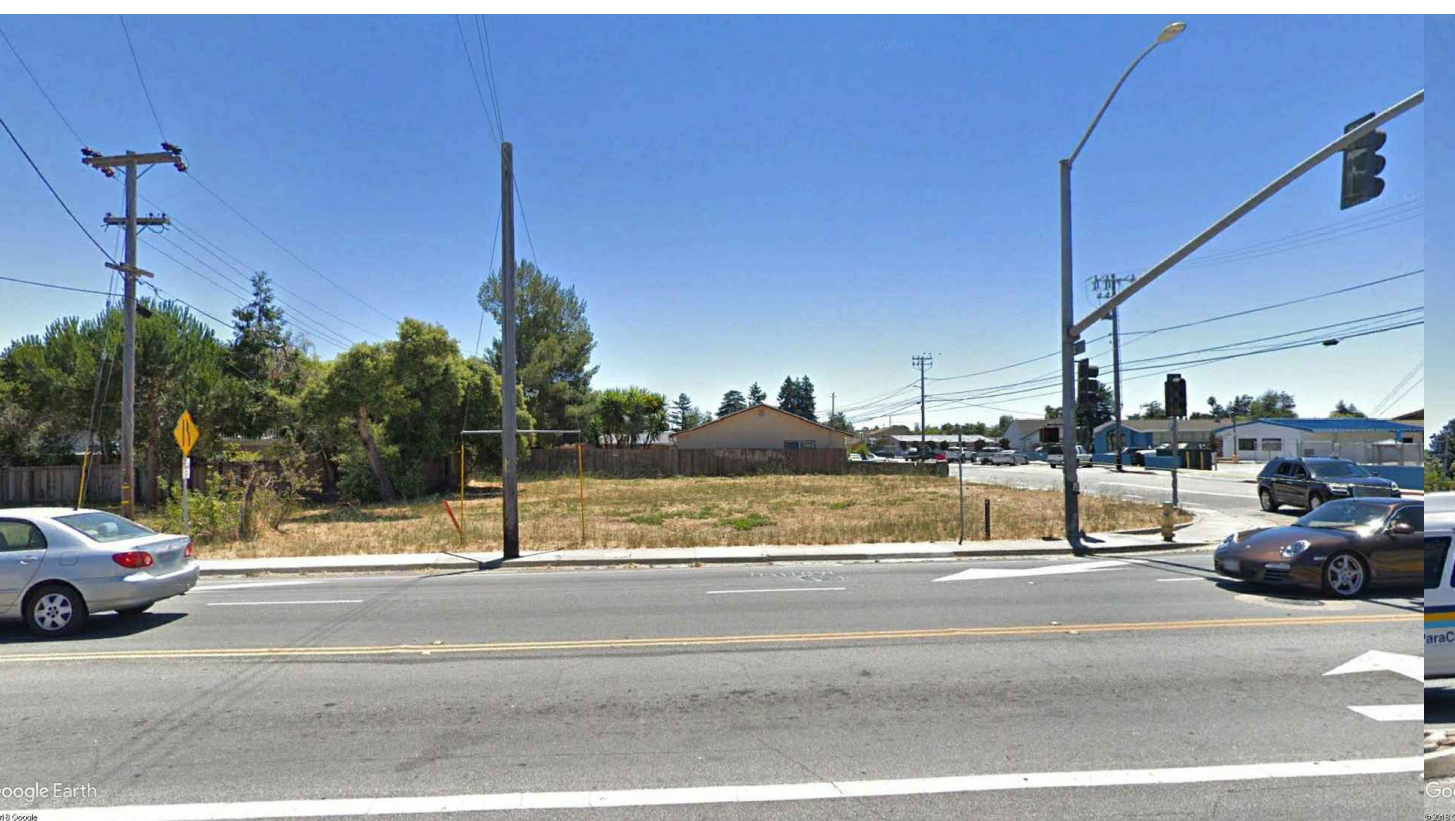
16 1600 CAPITOLA RD. (SOUTH SIDE)



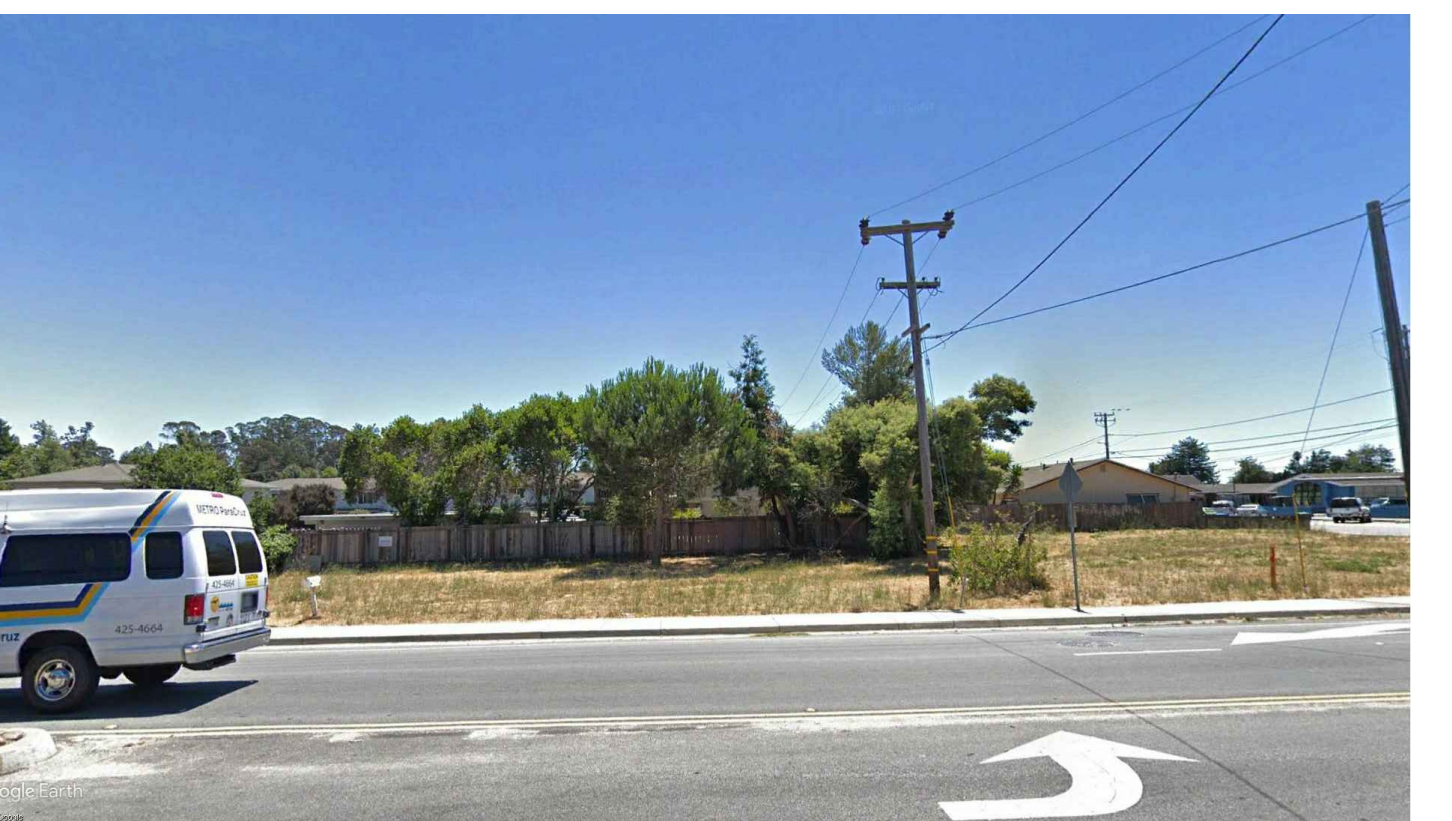
17 1668 CAPITOLA RD. (SOUTH SIDE)



18 1916 CAPITOLA RD. (SOUTH SIDE)

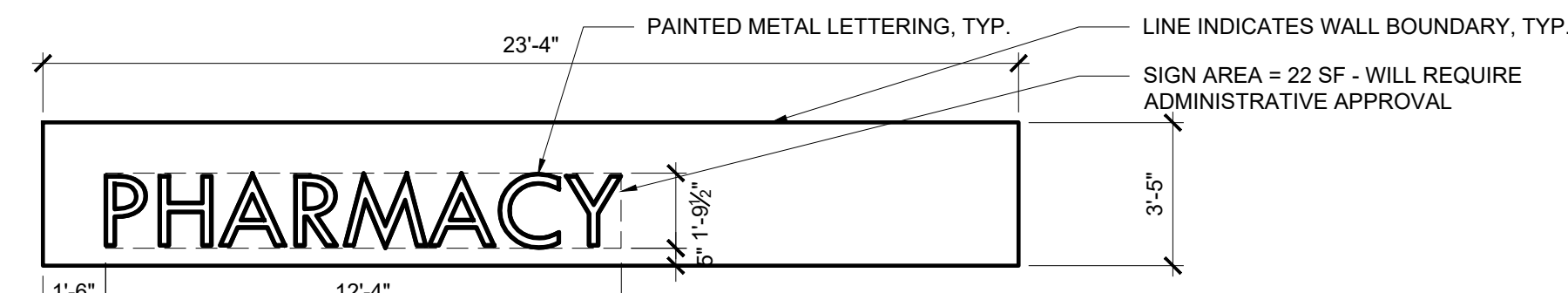
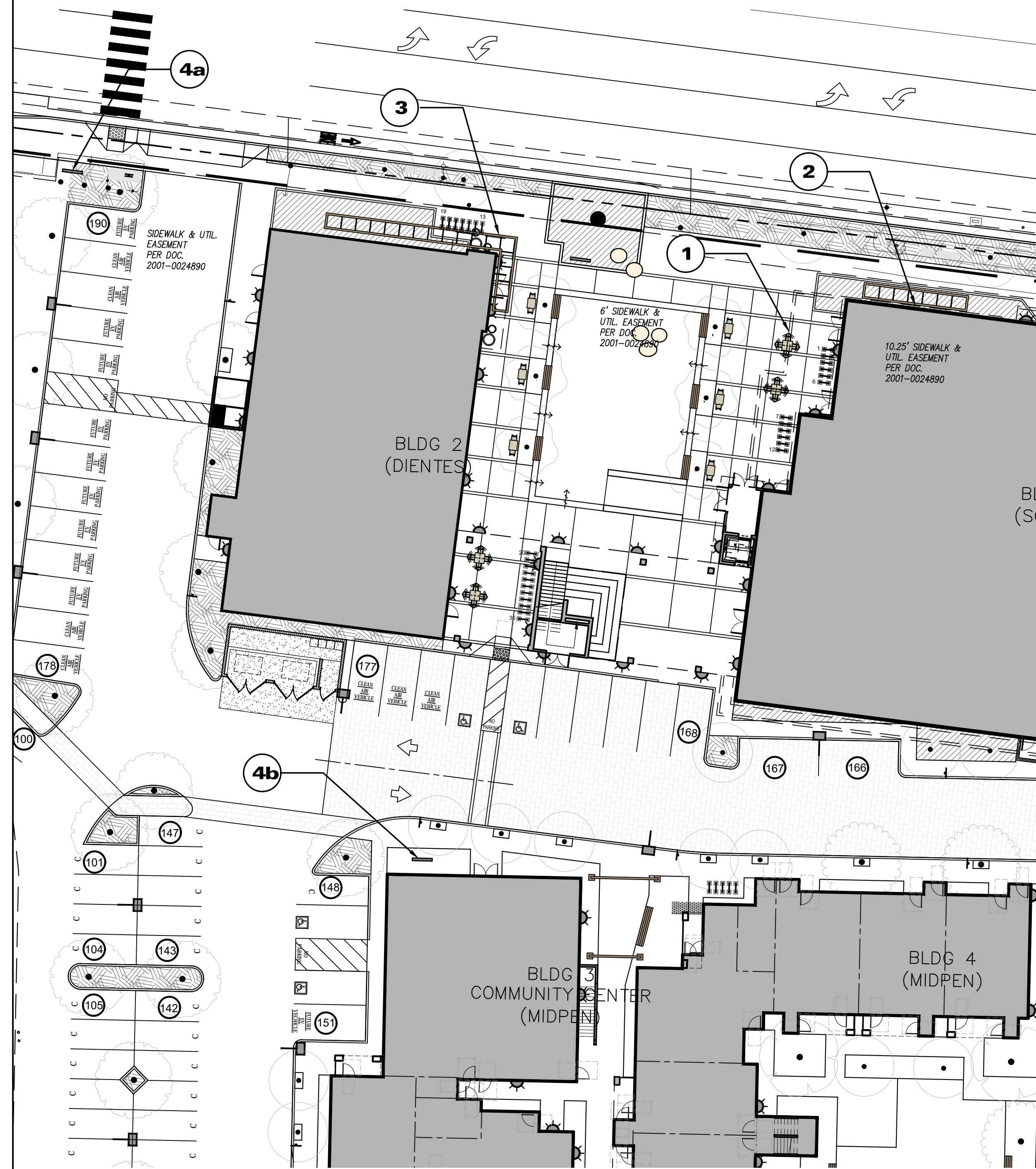


19 2210 CAPITOLA RD. (SOUTH SIDE)

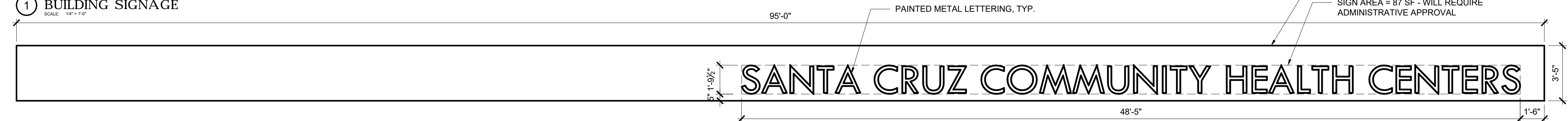


20 2228 CAPITOLA RD. (SOUTH SIDE)

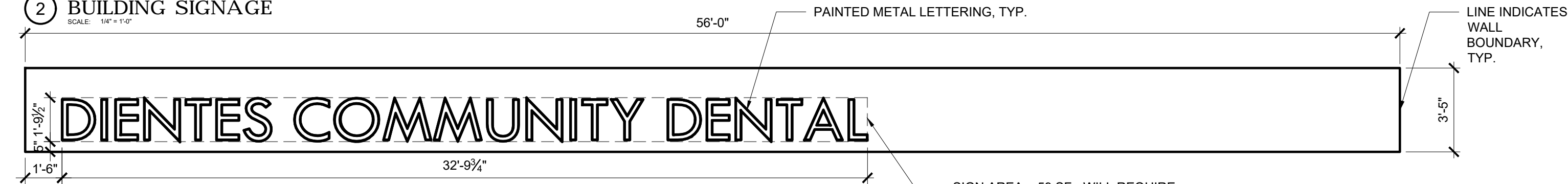




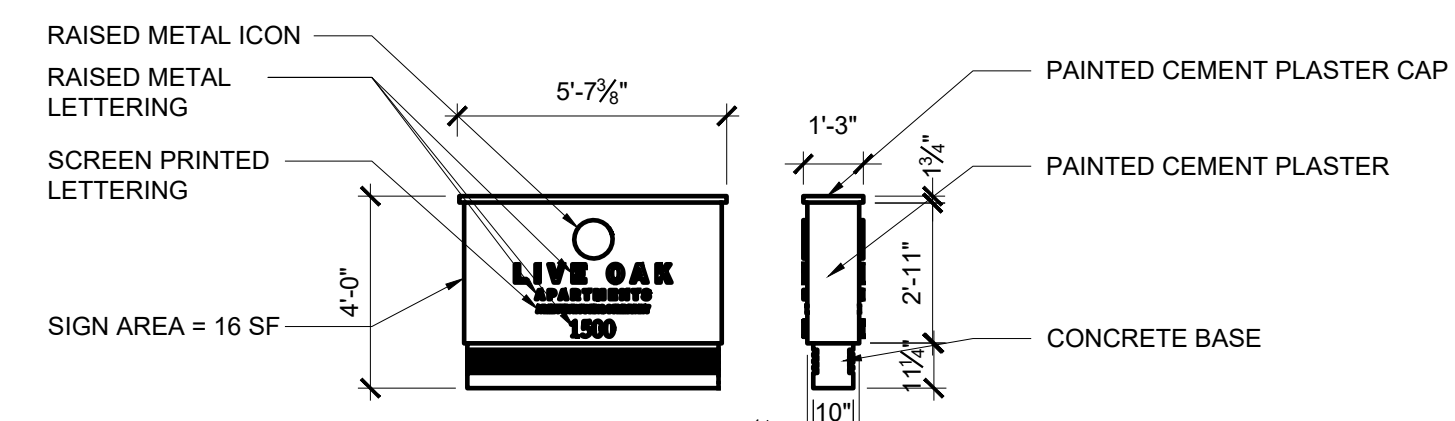
1 RETAIL PHARMACY BUILDING SIGNAGE  
SCALE: 1/8" = 1'-0"



2 SCCHC BUILDING #1 BUILDING SIGNAGE  
SCALE: 1/8" = 1'-0"



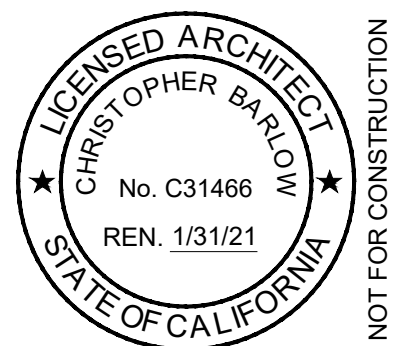
3 DIENTES BUILDING #2 BUILDING SIGNAGE  
SCALE: 1/8" = 1'-0"



4 MID PEN MONUMENTAL SIGNAGE  
SCALE: 1/8" = 1'-0"

SIGNAGE AREAS			
NO.	DESCRIPTION	WALL FACE AREA	SIGN AREA
1	"PHARMACY"	80	22
2	"SANTA CRUZ COMMUNITY HEALTH CENTERS"	325	87
3	"DIENTES COMMUNITY DENTAL"	191	59
4a	MIDPEN MONUMENT SIGN - AT STREET FRONTAGE, CAPITOLA RD.	16	16
<b>TOTAL, STREET FRONTAGE AREA</b>		<b>612</b>	<b>184</b>
4b	MIDPEN MONUMENT SIGN - INTERIOR, MERRIMAN LANE	16	16
<b>TOTAL, INTERIOR SIGN AREA</b>		<b>16</b>	<b>16</b>
<b>GRAND TOTAL, SIGN AREA</b>		<b>628</b>	<b>200</b>

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION HEREIN IS EXPRESSLY LIMITED TO SUCH USE. NO REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHICHEVER OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



**MID-PEN HOUSING**  
**1500 CAPITOLA ROAD MIXED-USE**  
MID-PEN HOUSING CORP.  
WATSONVILLE DEVELOPMENT OFFICE  
2715 MAIN STREET, SUITE 204, WATSONVILLE, CA 95076  
A.P.N.: 026-741-12, 026-741-13, 026-741-14, 026-741-15

JOB NO:  
**17088**  
PRINT DATE:  
PLOT DATE: 7.26.2019  
DRAWN BY: VV  
CHECKED BY: HR  
SET ISSUED:  
11/06/2018 COUNTY APPLICATION PACKAGE  
02/15/2019 COUNTY RESUBMITTAL APPLICATION PACKAGE  
05/13/2019 COUNTY RESUBMITTAL APPLICATION PACKAGE

SHEET NAME:  
**SIGNAGE PROGRAM**

SHEET NO:  
**A960**



# VESTING TENTATIVE MAP

## 2 LOT SUBDIVISION

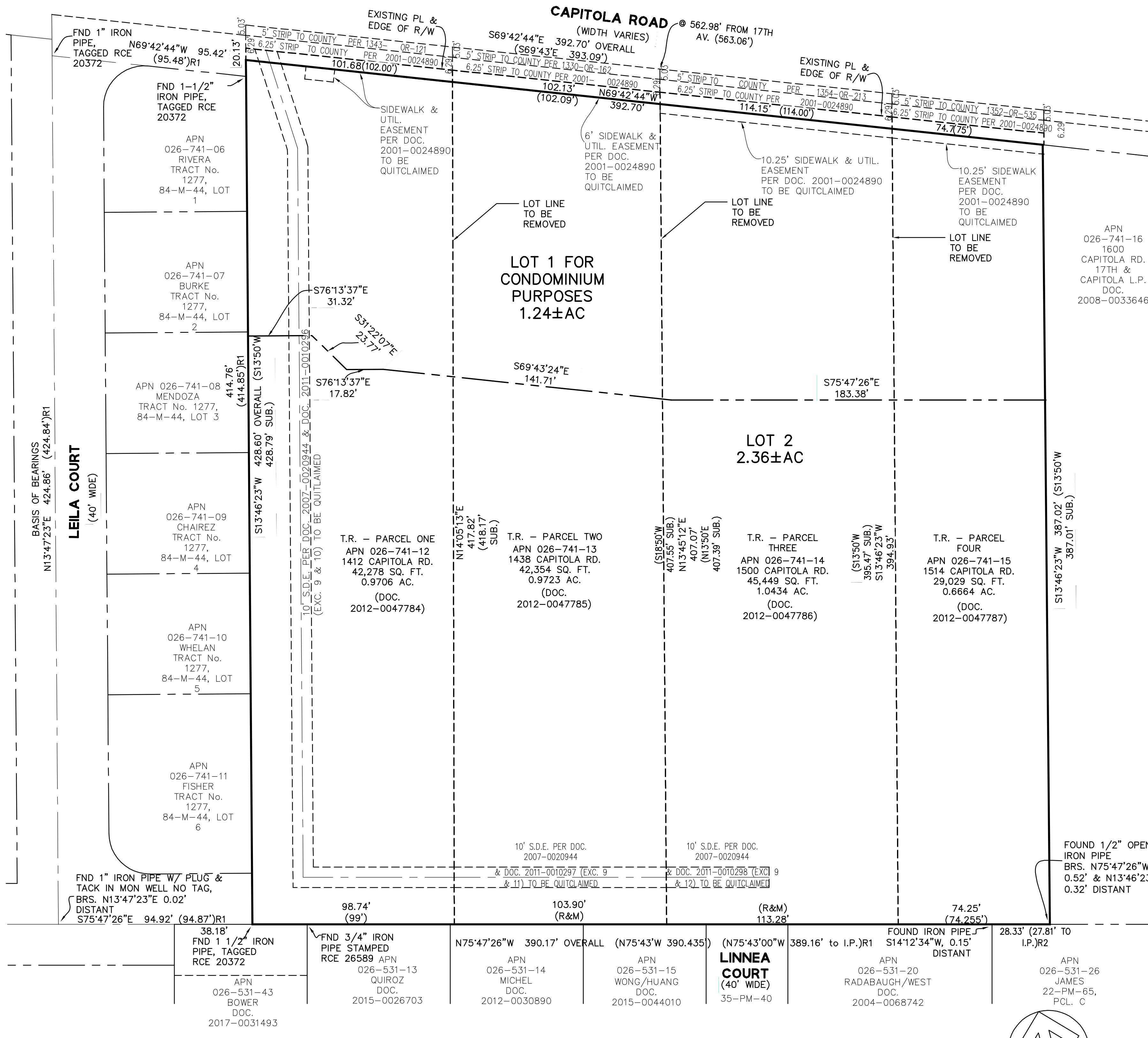
### LOT 1 IS FOR CONDOMINIUM PURPOSES

# 1500 CAPITOLA ROAD

## SANTA CRUZ COUNTY, CALIFORNIA

### GENERAL NOTES

- DUAL OWNERSHIP OF LOT 1: DIENTES COMMUNITY DENTAL CARE 1830 COMMERCIAL WAY SANTA CRUZ, CA 95065 CONTACT: LAURA MARCUS (831) 464-5409  
SANTA CRUZ COMMUNITY HEALTH CENTERS (SCCHC) 250 LOCUST STREET SANTA CRUZ, CA 95060 CONTACT: LESLIE CONNER (831) 427-3500
- OWNER OF LOT 2: MIDPEN HOUSING CORPORATION 275 MAIN STREET, SUITE 204 WATSONVILLE, CA 95076 CONTACT: ASHLEY SCHWEICKART (831) 707-2133
- DEVELOPER OF LOT 1: DIENTES COMMUNITY DENTAL CARE 1830 COMMERCIAL WAY SANTA CRUZ, CA 95065 CONTACT: LAURA MARCUS (831) 464-5409  
SANTA CRUZ COMMUNITY HEALTH CENTERS (SCCHC) 250 LOCUST STREET SANTA CRUZ, CA 95060 CONTACT: LESLIE CONNER (831) 427-3500
- DEVELOPER OF LOT 2: MIDPEN HOUSING CORPORATION 275 MAIN STREET, SUITE 204 WATSONVILLE, CA 95076 CONTACT: ASHLEY SCHWEICKART (831) 707-2133
- CIVIL ENGINEER: BKF ENGINEERS 307 MAIN STREET, SUITE 120 SALINAS, CA 95112 CONTACT: COLE GAUMNITZ (408) 467-9100
- PROPERTY: BEING A PART OF THAT CERTAIN LAND CONVEYED TO HENRY H. MERRIMAN AND FAYE N. MERRIMAN, HIS WIFE, BY DEED RECORDED IN VOLUME 7 OF OFFICIAL RECORDS, PAGE 142, SANTA CRUZ COUNTY RECORDS.  
BEING A PART OF LOTS 2, 3 AND 4 AS THE SAME ARE SHOWN UPON THAT CERTAIN MAP ENTITLED "WILSON BROTHERS SUBDIVISION NO. 1" FILED FOR RECORD IN THE OFFICE OF THE COUNTY RECORDER OF SANTA CRUZ COUNTY ON JUNE 6, 1916 IN MAP BOOK 18 AT PAGE 22, SANTA CRUZ COUNTY RECORDS.
- APN: 026-741-12, -13, -14, AND -15
- GENERAL PLAN: C-N NEIGHBORHOOD COMMERCIAL
- EXISTING ZONING: C-1 NEIGHBORHOOD COMMERCIAL
- PROPOSED ZONING: C-N NEIGHBORHOOD COMMERCIAL WITH R COMBINING DISTRICT DESIGNATION
- EXISTING USE: RESIDENTIAL
- PROPOSED USE: MIXED USE-COMMERCIAL AND RESIDENTIAL
- GROSS AREA: 3.6± ACRES
- NUMBER OF LOTS: 2
- PUBLIC SEWER: SANTA CRUZ COUNTY SANITATION DISTRICT
- PUBLIC WATER: SANTA CRUZ WATER DISTRICT
- PUBLIC STORM: SANTA CRUZ COUNTY
- TOPOGRAPHY: THE BEARING N13°47'23"E BETWEEN MONUMENTS FOUND ALONG THE CENTERLINE OF LEILA COURT AS SAID BEARING IS SHOWN ON THAT CERTAIN SUBDIVISION MAP OF TRACT 1277, ENTITLED MICHELLE PARK SUBDIVISION FILED FOR RECORD ON JUNE 27, 1991, IN BOOK 84 OF MAPS AT PAGE 44, RECORDS OF SANTA CRUZ COUNTY, AND AS SHOWN HEREON.  
1. THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF CALIFORNIA.  
2. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.  
3. TOPOGRAPHIC AND PLANIMETRIC FEATURES SHOWN ON THIS MAP WERE COMPILED BY PHOTOGRAMMETRIC PROCESS BASED ON AERIAL PHOTOGRAPHY (DATED 2/16/18) AND SUPPLEMENTED WITH GROUND SURVEY DATA.
- FLOOD ZONE: ZONE X AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. PER FLOOD INSURANCE RATE MAP (FIRM), NO. 06087C0351E, COMMUNITY NO. 060353 (COUNTY OF SANTA CRUZ), PANEL 0351, SUFFIX E, EFFECTIVE DATE MAY 16, 2012 FROM FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).
- EASEMENTS: EXISTING EASEMENT DESCRIPTIONS ARE SHOWN ON THIS SHEET. PROPOSED EASEMENTS AND EXISTING TO REMAIN ARE SHOWN ON SHEET TM-2.



### LEGEND

- PROJECT BOUNDARY
- (N)PROPERTY LINE
- ADJACENT LOT LINE
- REMOVE LOT LINE
- EASEMENT LINE TO BE QUITCLAIMED
- CENTERLINE

### GENERAL NOTES

- VESTING TENTATIVE MAP: THIS VESTING TENTATIVE PARCEL MAP IS BEING FILED IN ACCORDANCE WITH ARTICLE 2, SECTION 86452 AND CHAPTER 4.5 OF THE SUBDIVISION ACT MAP.
- AREA: THE BOUNDARIES OF THIS SUBDIVISION CONTAIN 3.65± ACRES CONSISTING OF TWO DEVELOPABLE PARCELS.
- BUILDING TYPE: THE BUILDING FOOTPRINTS SHOWN ARE FOR CONCEPTUAL PURPOSES ONLY. THE BUILDING TYPE, LOCATION AND STYLES WILL BE PERMITTED AS CONSTRUCTED IN CONFORMANCE WITH PROJECT PD REQUIREMENTS PRIOR TO THE APPLICATION FOR BUILDING PERMITS.
- UTILITIES: A PUBLIC STORM DRAIN EASEMENT IN FAVOR OF THE COUNTY OF SANTA CRUZ WILL BE CREATED TO FACILITATE THE MAINTENANCE OF THE STORM DRAIN LINE.
- MULTIPLE FINAL MAPS: PURSUANT TO SECTION 66456.1 OF THE SUBDIVISION MAP ACT, THE DEVELOPER RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS. ONLY THE IMPROVEMENTS REQUIRED TO SUPPORT THE LEVEL OF DEVELOPMENT, AS DETERMINED BY THE COUNTY, OF EACH PARTICULAR FINAL MAP NEEDS TO BE COMPLETED OR BOUNDED.

### ENGINEER'S STATEMENT

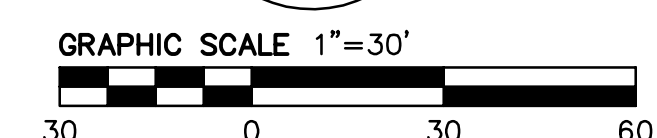
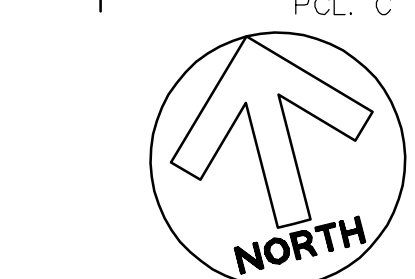
THIS VESTING TENTATIVE PARCEL MAP HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

05/08/2019

FRITZ COLE GAUMNITZ, P.E. DATE  
BKF ENGINEERS  
R.C.E. NO. 75787

### VESTING TENTATIVE MAP SHEET INDEX

TM-1 TITLE SHEET  
TM-2 TENTATIVE MAP



DRAWING NAME: K:\2017\176343\_171th-Capitol-Road-Subdivision-Map\17C\_TM-1.dwg  
PLOT DATE: 05-22-19  
PLOTTER: HP  
PLOTTER MODEL: HP  
PLOTTER DRIVER: HP  
PLOTTER PORT: LPT1

1730 N. FIRST STREET,  
SUITE 600  
SAN JOSE, CA 95112  
(408) 467-9100  
www.bkf.com

COUNTY OF SANTA CRUZ

VESTING TENTATIVE MAP  
1500 CAPITOLA ROAD  
TITLE SHEET

COUNTY OF SANTA CRUZ

XX% SUBMITTAL - NOT FOR CONSTRUCTION

Date	Scale	Design	Drawn	Approved	Job
05/22/19	AS SHOWN	SP	SP	CFG	No. 20176343
Drawing Number: <b>TM-1</b>					
1 OF 2					



**NOTES**

THE COMMON AREA IS DEFINED AS THE ENTIRETY OF LOTS 1 AND 2 WITH THE EXCEPTIONS OF BLDG ENVELOPES AND NOTED EXCLUDED PARKING SPACES.

**LEGEND**

- PROJECT BOUDARY
- BLDG ENVELOPE
- (N)PROPERTY LINE
- ADJACENT LOT LINE
- CENTERLINE
- (N)EASEMENT LINE
- PARKING EXCLUDED FROM COMMON AREA PARKING (57 TOTAL SPACES)

**ABBREVIATIONS**

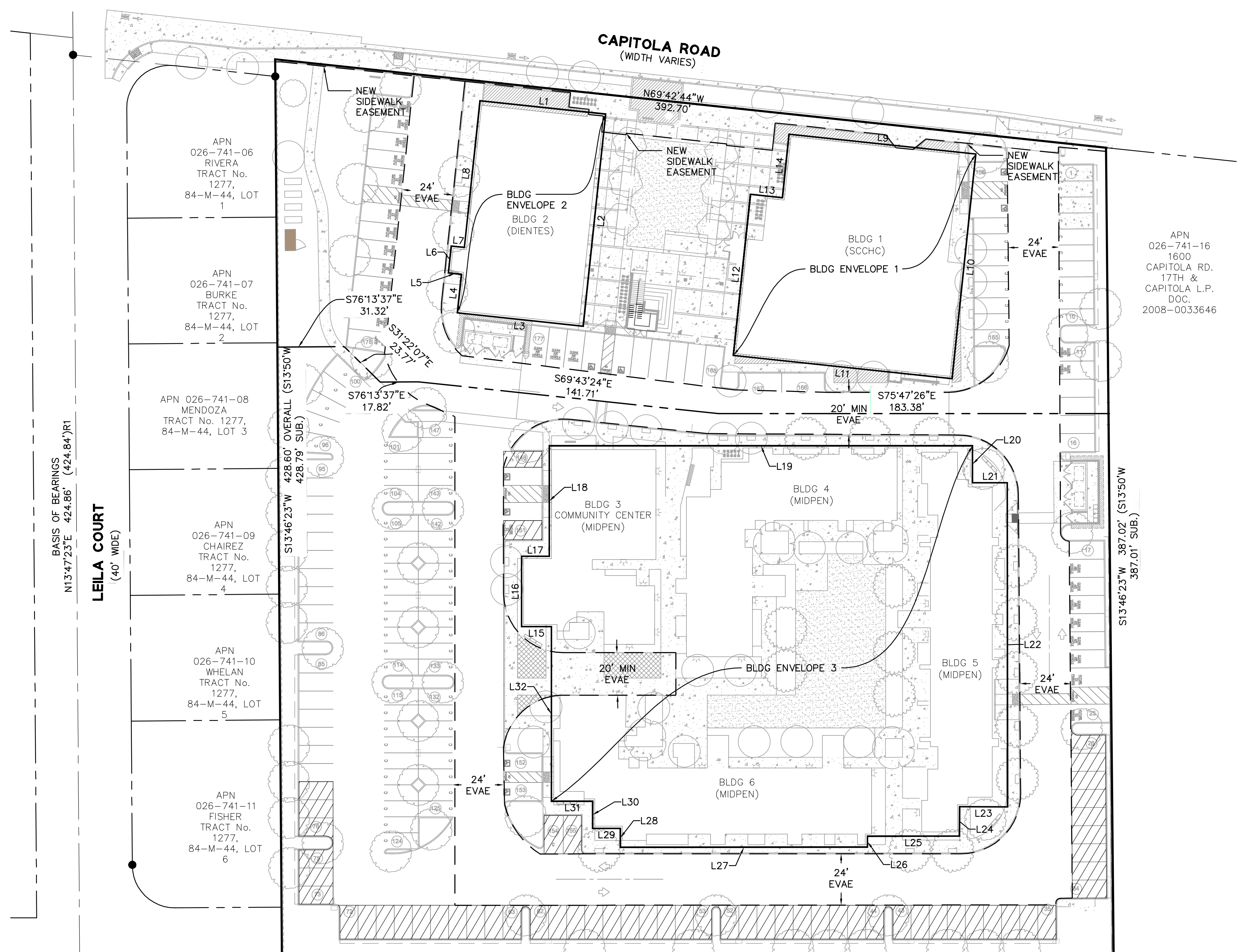
- BLDG BUILDING
- ESMT EASEMENT
- EVAE EMERGENCY VEHICLE ACCESS EASEMENT
- (N) NEW
- SD STORM DRAIN
- SCCHC SANTA CRUZ COMMUNITY HEALTH CENTERS

**BUILDING ENVELOPE LINE TABLE**

LINE NO.	DISTANCE	BEARINGS
L1	59.33	S69°42'44"E
L2	100.06	S20°17'16"W
L3	59.33	N69°42'44"W
L4	18.17	N20°17'28"E
L5	6.17	N69°42'44"W
L6	12.67	N20°17'08"E
L7	6.17	S69°42'44"E
L8	69.22	N20°17'16"E
L9	88.18	S69°42'44"E
L10	106.00	S20°16'51"W
L11	103.17	N69°42'44"W
L12	75.99	N20°17'07"E
L13	15.07	S69°52'31"E
L14	29.97	N20°07'08"E
L15	13.99	N75°47'26"W
L16	33.00	N14°12'33"E
L17	13.02	S75°47'26"E
L18	51.83	N14°12'34"E
L19	198.56	S75°47'26"E
L20	17.33	S14°19'33"W
L21	16.34	S75°47'26"E
L22	152.09	S14°09'51"W
L23	22.48	N75°34'10"W
L24	13.77	S14°30'49"W
L25	43.18	N75°52'15"W
L26	5.11	S14°11'20"W
L27	115.91	N75°50'02"W
L28	8.86	N14°09'25"E
L29	13.00	N75°47'26"W
L30	12.72	N14°12'34"E
L31	19.37	N75°47'26"W
L32	81.95	N14°12'35"E

**EASEMENTS**

- A BLANKET OVERLAND STORMWATER EASEMENT IS PROPOSED TO ALLOW FOR SURFACE WATERS TO CROSS PRIVATE LOT LINES.
- A BLANKET RECIPROCAL INGRESS/EGRESS/PARKING EASEMENT IS PROPOSED IN COMMON AREAS.
- EVAE AS SHOWN ON MAP.
- A BLANKET PRIVATE UTILITY EASEMENT FOR PRIVATE UTILITY INFRASTRUCTURE.
- NEW SIDEWALK EASEMENT AS SHOWN ON MAP.



APN 026-741-06 RIVERA TRACT No. 1277, 84-M-44, LOT 1

APN 026-741-07 BURKE TRACT No. 1277, 84-M-44, LOT 2

APN 026-741-08 MENDOZA TRACT No. 1277, 84-M-44, LOT 3

APN 026-741-09 CHAIREZ TRACT No. 1277, 84-M-44, LOT 4

APN 026-741-10 WHELAN TRACT No. 1277, 84-M-44, LOT 5

APN 026-741-11 FISHER TRACT No. 1277, 84-M-44, LOT 6

APN 026-531-43 BOWER DOC. 2017-0031493

APN 026-531-13 QUIROZ DOC. 2015-0026703

APN 026-531-14 MICHEL DOC. 2012-0030890

APN 026-531-15 WONG/HUANG DOC. 2015-0044010

APN 026-531-20 RADABAUGH/WEST DOC. 2004-0068742

APN 026-531-26 JAMES 22-PM-65, PCL. C

APN 026-741-16 1600 CAPITOLA RD. 17TH & CAPITOLA L.P. DOC. 2008-0033646

N75°47'26"W 390.17' OVERALL (N75°43'W 390.435') (N75°43'00"W 389.16' to I.P.)R1

BLDG ENVELOPE 1 (SCCHC)

BLDG ENVELOPE 2 (DIENOTES)

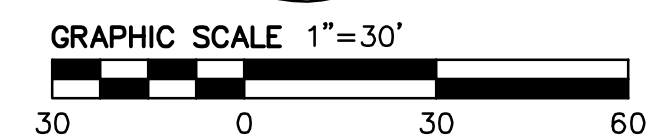
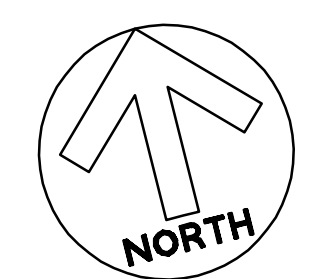
BLDG ENVELOPE 3

BLDG 3 COMMUNITY CENTER (MIDPEN)

BLDG 4 (MIDPEN)

BLDG 5 (MIDPEN)

BLDG 6 (MIDPEN)



DRAWING NAME: K:\2017\176343\_17th-Capitol-ENR-PLANNING\TMAP\17C\_TMAP-FRMAP.dwg  
 PLOTTED BY: lsh

Date	Scale	Design	Drawn	Approved	Job
05/22/19	AS SHOWN	SP	SP	CFG	No. 20176343

Drawing Number: **TM-2**

2 OF 2